

May 7, 2012

**EXISTING FACILITY ASSESSMENT**

at THE ALFRED C. PRIESTLEY SCHOOL

New Orleans, Louisiana

**Waggonner & Ball Architects**

New Orleans, Louisiana

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### OPINION OF PROBABLE COST

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## CHAPTER 1 EXECUTIVE SUMMARY

Waggonner & Ball Architects, APC has been retained by Jacobs/CSRS Program Management to conduct an assessment of the Alfred C. Priestley School located at 1619 Leonidas Street on Square 208 which is bounded by Leonidas, Green, Joliet and Birch Streets in Uptown New Orleans.

An assessment of the structures on site with regard to structural systems, building envelope, civil, mechanical, electrical, fire protection and special systems is contained in this report. Waggonner & Ball was assisted by Schrenk, Endom and Flanagan Consulting Engineers (structural and civil) and Moses Engineers (mechanical, electrical, plumbing, fire protection and special systems.) A survey was conducted by Gandolfo Kuhn LLC to determine the amount of settlement in the three story classroom structure. Two separate site visits were conducted by the assessment team. This report does not provide for an assessment of hazardous materials. Specific designs have not been developed to resolve the deficiencies noted in the existing structures.

An opinion of probable cost has been developed to: **A)** Renovate the existing buildings for reuse as a stand-alone school facility (quantifying the number of classrooms); **B)** Renovate and expand both existing buildings to provide an 87,000 square foot 2-section per grade Pre-K through 8th grade school facility; and **C)** Demolish the existing gymnasium, renovate the three story classroom building and expand it to provide an 87,000 square foot 2-section per grade Pre-K through 8th grade school facility.

### **Building History and General Information**

The Priestley School, which has not been in operation since well before Hurricane Katrina, once occupied the entire block, and had its main entrance on the Leonidas Street side. There are two separate structures on the site, a three story classroom building and a single story, high-bay former recreation building or Gymnasium. Designed in 1937 as the Walter C. Flower Public School by architect E.A. Christy, the original three story bearing-wall masonry structure with wood windows was a building of approximately 26,380 square feet which included three one-story portions on the Joliet Street side that housed girls' and boys' toilet rooms, an electrical room and a boiler room. The entrance to the structure was from the north on the Leonidas Street side via a diagonal entry hall raised approximately 30 inches from grade and incorporated in a two-story wing on that side of the building. The entry has Art Deco brickwork detailing around the entrance doors. Copies of the original drawings (of poor quality) were located in the New Orleans Public Library and show that the exterior bearing walls and interior steel columns of the original building were supported by driven piles and concrete pile caps.

In 1955 the school was expanded. As no drawings were found at the time of this report, the name of the architect is still unknown. A 7,300 square foot, three-story concrete frame classroom addition (with concrete pan joist floor system) of the same width as the original building was constructed at the Green Street end that incorporated a new concrete fire stair. Also constructed at that time was a separate masonry-walled gymnasium/recreation hall along with a one-story locker room addition along the rear of the original classroom building. The concrete and masonry detailing of the 1955 wing bears similarities to another E. A. Christy building, the Charles Colton School in the Marigny District, which building Waggonner & Ball is currently renovating for use as a Pre-K through 8th grade school. Exterior masonry wall expansion in that structure was not accounted for in the design. Expansion of the masonry caused the exterior wall to fail in that instance, necessitating a new masonry exterior for the entire building. The length of wall at Colton is far greater than that at Priestley, but similar problems are occurring at Priestley on a lesser scale (the masonry wall has expanded at the parapet corners.)

The single story gymnasium structure is approximately 6,735 square feet and is spanned with non-fireproofed semi-parabolic arched trusses spaced every 18 ft and roofed with what appear to be corrugated Transite roof panels. The Gym contains bleachers on both sides that are in poor condition. The underside of the exposed roof panels appears to be covered in mold or mildew.

Two separate trips were made to the site to assess and document the condition of the buildings. Both structures are in very poor condition from years of deferred maintenance and more recent vandalism. A full interior renovation, significant structural changes, and extensive work to the exterior envelope will be required to bring the structures up to current codes. A brief summary of the major deficiencies is listed below.

### **Building Code and Construction Type**

As defined in the Uniform Building Code, the three story classroom building is a Type III structure (exterior walls of non-combustible materials with a fire-resistance rating of 2-hours; interior building elements of any building material permitted by Code. ) For a fully-sprinklered Type III building of unprotected construction (unrated interior walls, floors and roof) used for Educational Occupancy, the maximum allowable number of stories is three (3) and the maximum floor area (per floor) is limited to 43,500 square feet. Per NFPA 13 (the Sprinkler Code), concealed spaces formed by the floor/roof joists do not have to be sprinklered provided that the ceilings are no more than 6 inches below the bottom of the framing.

The existing fire stairs do not meet current code (one is wood and one concrete) and there is no elevator serving the building. Reuse of the building for Educational occupancy will require significant masonry restoration, new code-compliant windows, a new roof, new demising partitions, ceilings, finishes, new fire alarm and sprinkler systems, and new MEP and special systems. The first floor slab has settled (it is not pile-supported) and a new slab will need to be constructed throughout. In order to use the building as a stand-alone school or an expanded one, it is probable that the one story additions on the Joliet Street side will need to be removed in order to provide daylighting for the first floor classrooms. The brick from these demolished portions should be carefully salvaged for reuse in the masonry restoration of the buildings.

The Gymnasium structure is a Type II building. Typically, buildings of different construction Types can be joined together, provided that the height and area limitations of the lesser Type are applied to the combined structure in its entirety.

### **Base Flood Elevation Determination**

The Priestley buildings are in the original Carrollton Historic District, a National Historic District. That district is bounded by Lowerline Street, the Mississippi River, Monticello Avenue and Earhart Boulevard. An ordinance was passed by the New Orleans City Council in August 25, 2006 (approved August 30, 2006) amending Chapter 78 of the Code of the City of New Orleans to the effect that all properties in Nationally Registered Historic Districts are allowed to have their first floor elevation at base flood elevation (BFE) or 18" above the highest elevation of the street curb at the front of the property, whichever is greater. The classroom building meets this requirement. The Gymnasium, however, has settled such that it is slightly below the BFE and will need an additional 3" of concrete cast on top of the existing slab to get the floor level to 18" above the street curb.

The property is in an A-1 Flood Zone. It is our belief that future additions to the building(s) will be allowed to be at the same first floor elevation as the existing school. However, this will need to be verified and agreed to by the owner and FEMA, which negotiation is not within the scope of this report. The buildings are not currently on the National Register, but are considered historic due to the fact that they, including the 1955 gymnasium and 3 story classroom addition, are over fifty years old.

## Deficiencies

### Civil

1. Drainage: Subsurface storm drainage systems appear to be non-functional; requires video investigation/mapping, clearance of obstructions or replacement
2. Sidewalks: Many of the surrounding sidewalks are in poor condition and should be replaced as part of a full site development
3. Parking lot: Existing parking lot paving surface is in poor condition and will need replacement or relocation, depending on the overall site development

### Structural

#### Main Building

1. There are no expansion or control joints in the exterior masonry bearing walls, which is typical for buildings of this era. The entire building has settled differentially approximately  $3\frac{1}{2}$ " with the high point at Green street and the low point at Birch Street. Cracked bricks need to be removed and replaced at approximately 40 locations (as shown on building elevations in this report)
2. There is no lateral bracing of the exterior masonry walls of the original structure
3. First floor slab is not pile supported and must be replaced throughout with a new 5" thick slab with grade beams
4. Steel lintels at the window heads are water damaged and need replacement. Steel jamb and sill reinforcing will need to be incorporated to attach new code-compliant windows

#### Gymnasium

1. The top members of the trusses at each end of the building have rusted and will require further investigation and probable repair
2. The building has settled differentially  $2\frac{1}{2}$ ", with the high point at the Green Street side and the low point at the Birch Street side



## Architectural

### Main Building

1. Entire single-slope roof system and deck, parapet flashing and wall cap (and blocking) need to be replaced; new downspouts and leader heads required
2. Building is uninsulated
3. New code-compliant/wind rated windows and exterior doors required throughout
4. Masonry restoration, repair and repointing of entire exterior required
5. New fire stairs required (2 total)
6. Entire interior needs to be demolished leaving only structural wood framing at floor levels and corridor walls
7. Entire interior requires a full build-out, dependent upon program of spaces required; detailing at corridors and exterior windows should emulate the original design with raised panel doors with glass paned upper panels and transoms, wood base, wood chair-rails and wood door and window trim consistent with the original fabric.
8. New elevator required
9. New site fencing required for entire perimeter of city block
10. New landscaping and play equipment required

### Gymnasium

1. New code-compliant/wind rated windows and exterior doors required throughout
2. New roof required (standing seam metal over new plywood deck)
3. Roof insulation required
4. Concrete floor needs to be topped to bring floor elevation to BFE
5. Roof trusses not fireproofed; requires further code investigation as it relates to full buildout
6. Paint interior walls and provide athletic floor finish
7. Replace deteriorated bleachers

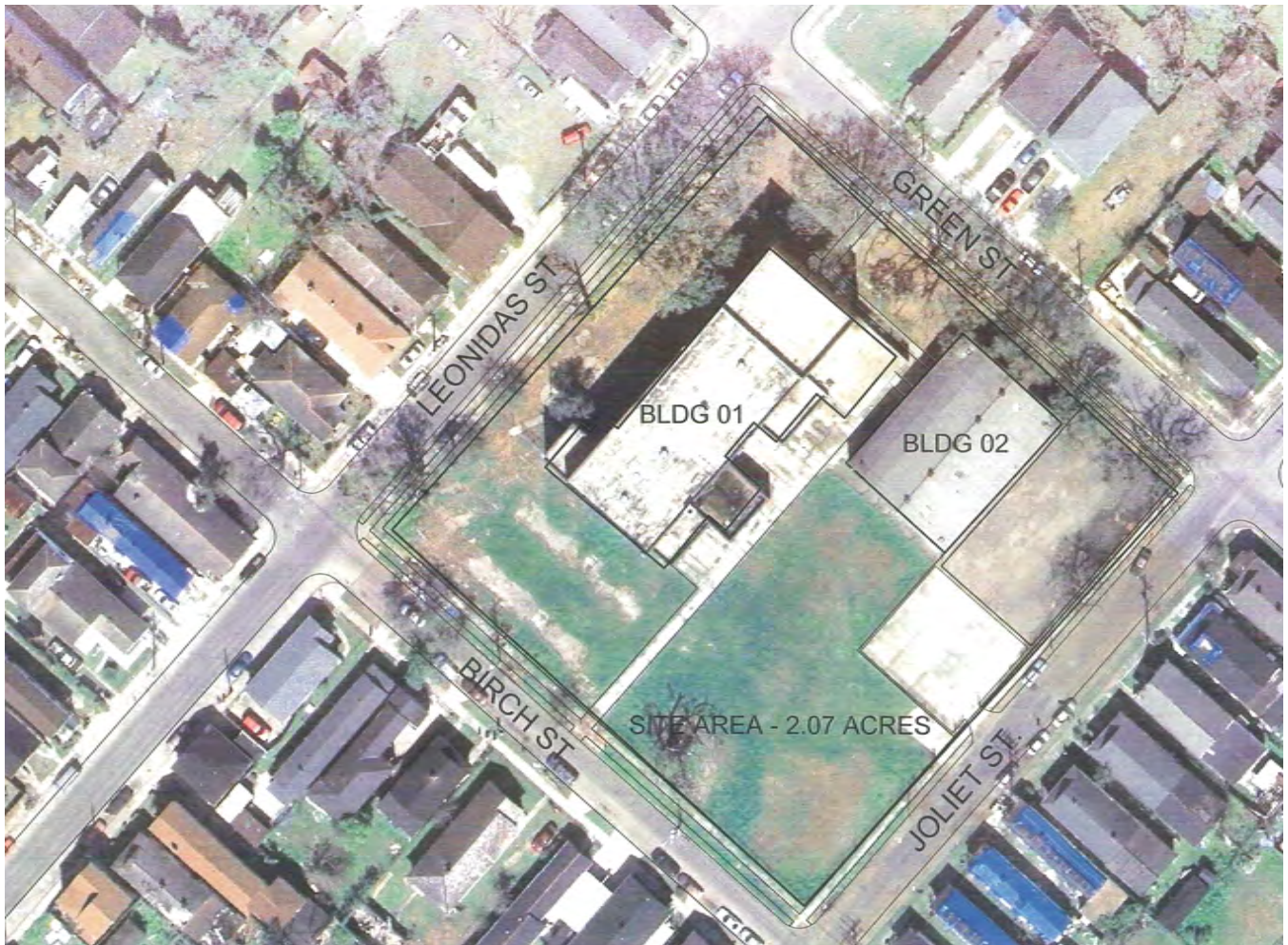
## Mechanical (HVAC, Plumbing and Fire Protection)

1. New mechanical, plumbing, and automatic sprinkler/fire protection systems required throughout both structures

## Electrical (Power, Lighting and Special Systems)

1. New electrical service, electrical systems, building and site lighting, fire alarm, telephone, data, security, lightning protection and other special systems required throughout both structures

**Aerial Site Photograph**



0 25' 50' 75' 125' 225'

GRAPHIC BARSCALE

**AERIAL SITE PHOTO**

SCALE: 1/64" = 1'-0"

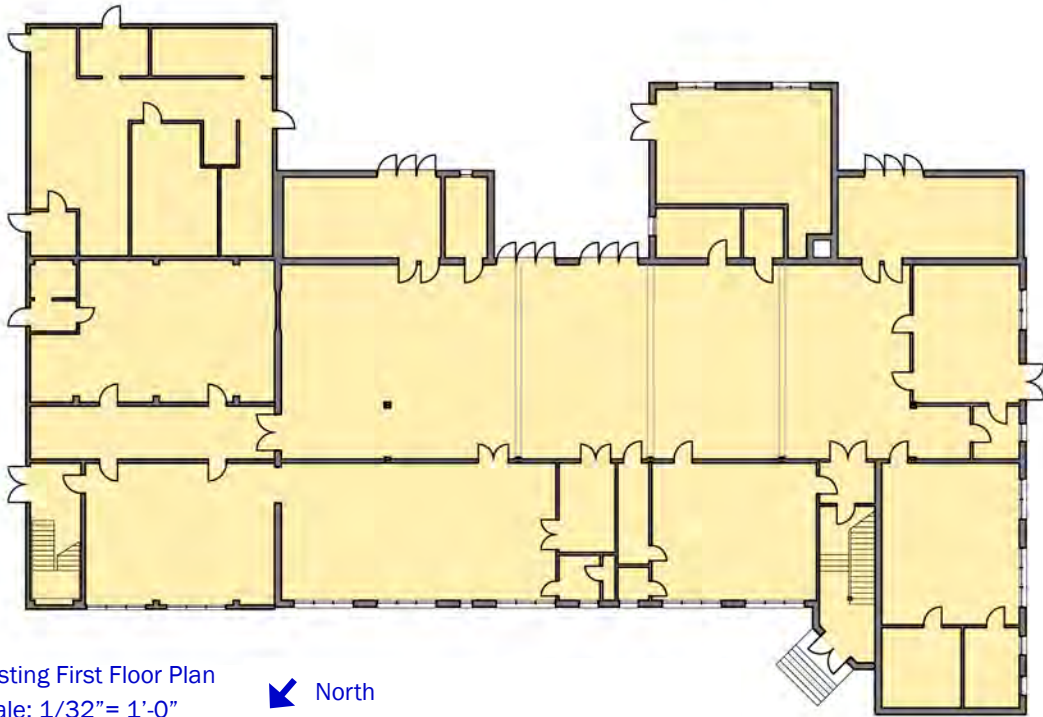




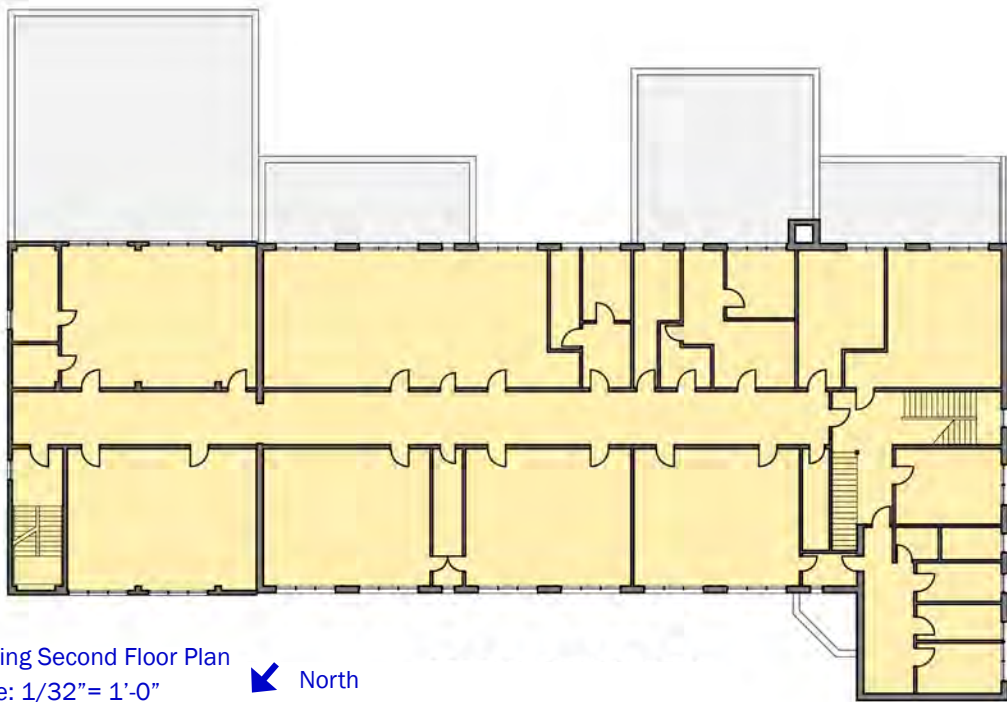
Existing Site Plan





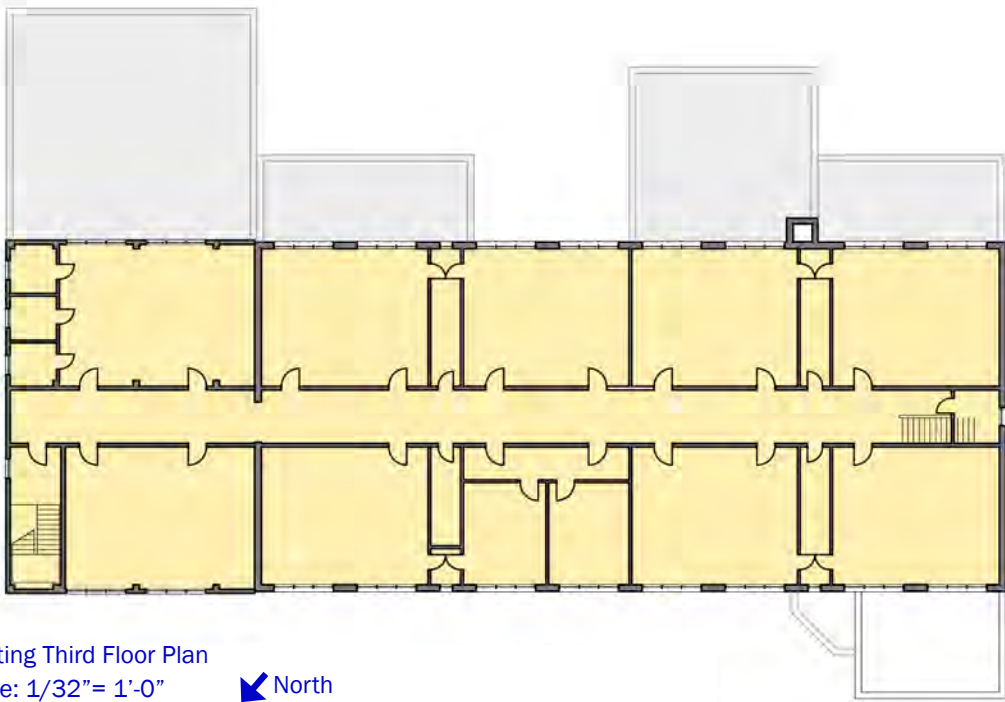


Existing First Floor Plan  
Scale: 1/32" = 1'-0"

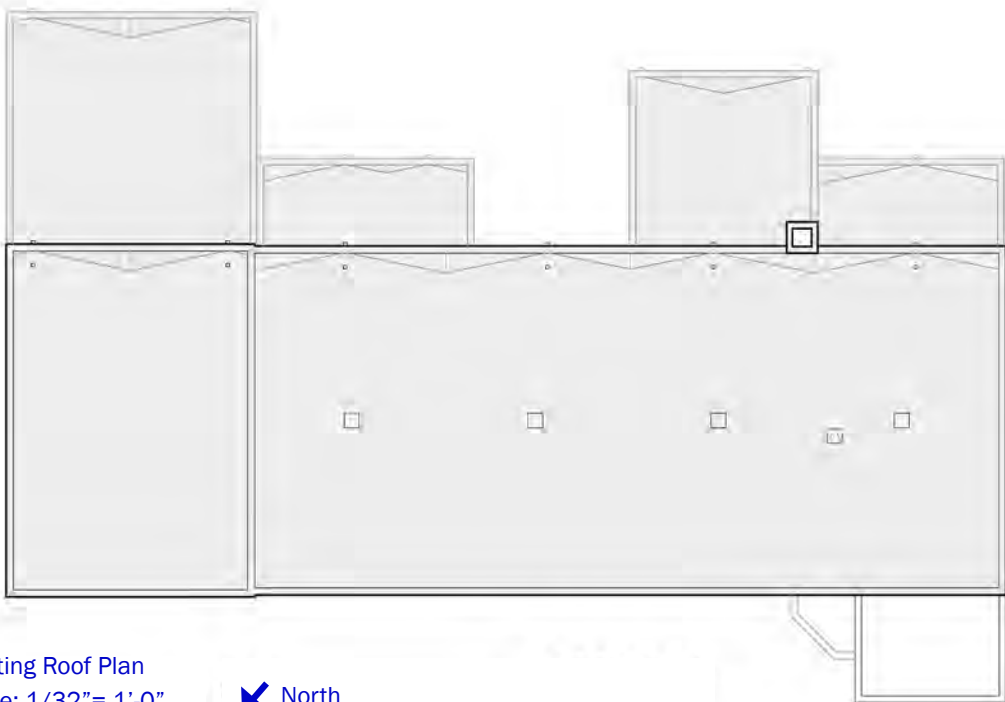



Existing Second Floor Plan  
Scale: 1/32" = 1'-0"

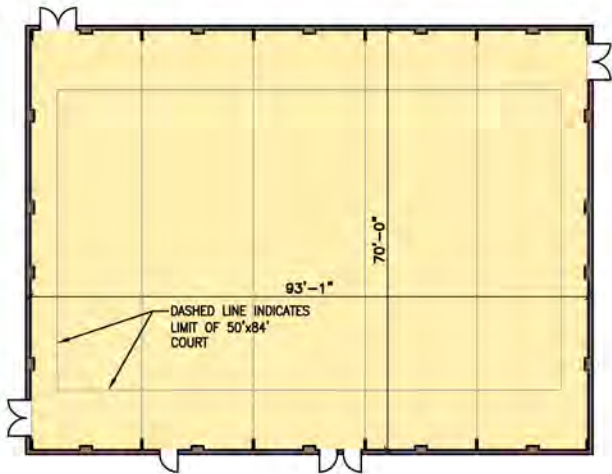




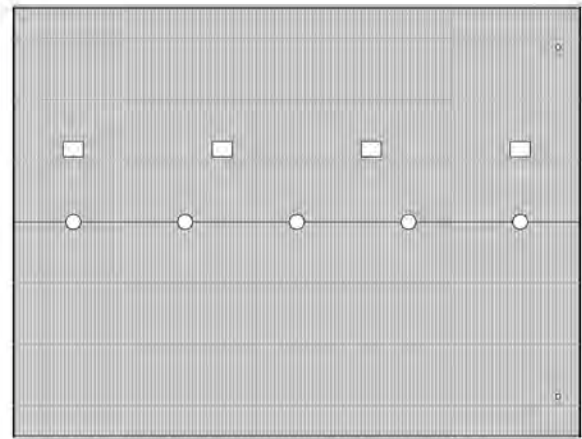
Existing Third Floor Plan  
Scale: 1/32" = 1'-0"     North



Existing Roof Plan  
Scale: 1/32" = 1'-0"     North

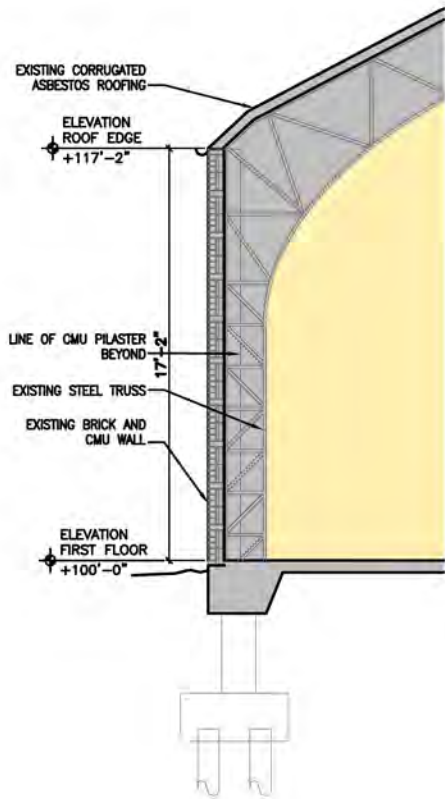


Existing Gym Plan, Scale: 1/32" = 1'-0"

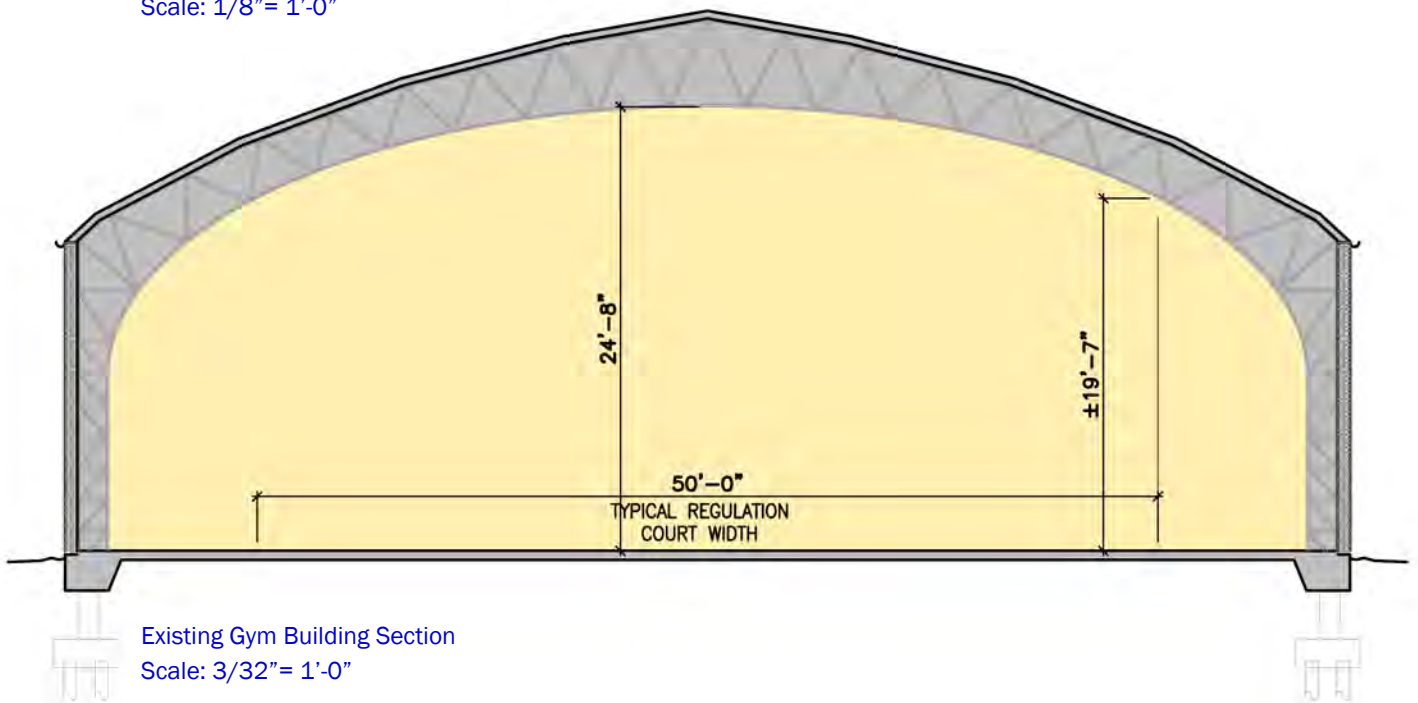


Existing Gym Roof Plan, Scale: 1/32" = 1'-0"

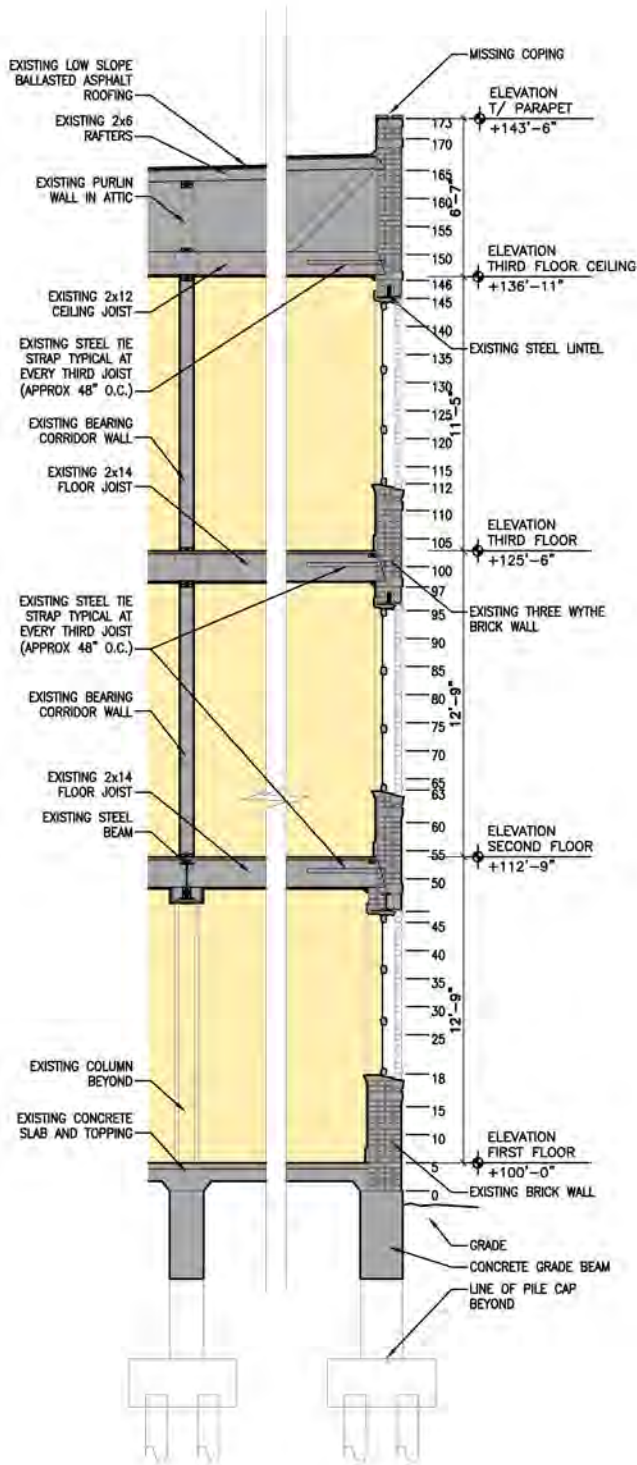




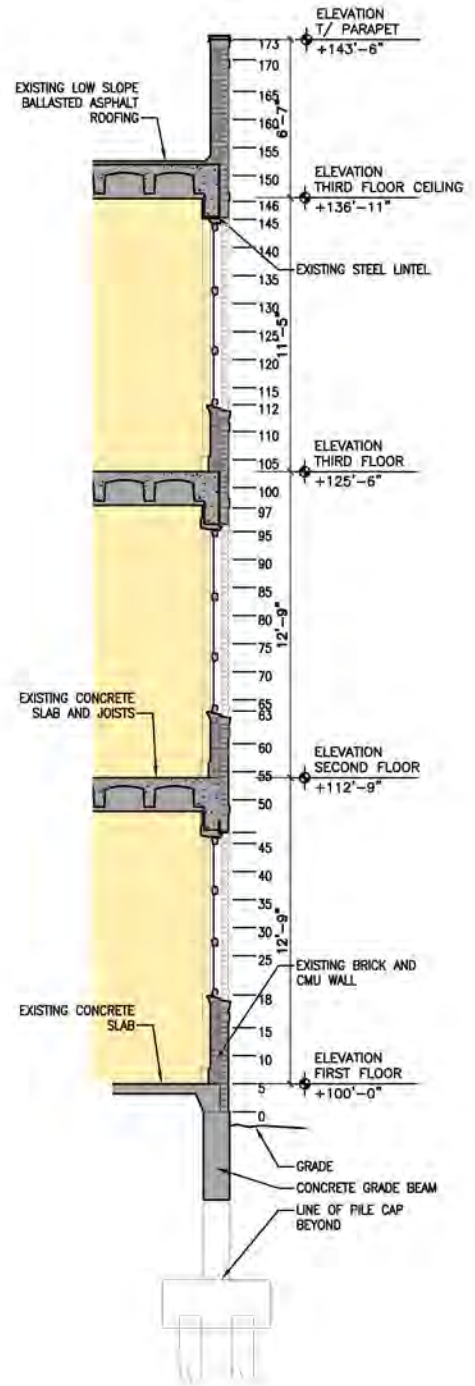
Existing Gym Wall Section  
Scale: 1/8" = 1'-0"



Existing Gym Building Section  
Scale: 3/32" = 1'-0"



Existing Main Building Wall Section  
Scale: 1/8" = 1'-0"



1955 Building Addition Wall Section  
Scale: 1/8" = 1'-0"



## CHAPTER 2 SITE & BUILDING ASSESSMENT

### Section 2.1 Civil / Site Assessment

Based on visual observation and historical experience, it is our opinion that the subsurface drainage system will need to be replaced. The sewer system will need to be replaced, as well as all water systems. The interior sidewalks also need to be replaced. The perimeter sidewalks, which are in poor condition presently, will be further damaged during construction and will need to be replaced. The parking area has deteriorated as well and will probably need replacement as part of a larger renovation / expansion project.

The ground surface has subsided approximately 6" so some additional fill will be needed when the buildings are renovated and expanded. The property has a number of large live oaks and water oaks at its perimeter. There are seven (7) large oaks on both Leonidas and Green Streets and one oak on Joliet and Birch Streets, both in poor condition.



## Section 2.2 Structural Assessment

The purpose of this section is to offer a preliminary opinion on the structural condition of the facility. This opinion is based on a walk-through of the property conducting visual observations, and a review of the 1938 construction documents. Also reviewed were elevation readings at the perimeter brick course of the classroom building and elevations taken on the floor of the gymnasium. These recorded elevations were the work of Gandolfo Kuhn, LLC, Civil Engineers and Land Surveyors and the survey was performed on April 13, 2012.

### Building Description

The 1938 building is three stories and was designed and built using exterior masonry walls and wood floor framing with interior bearing stud walls on each side of a central corridor. The floor and ceiling joists are 2 x 14's and are spaced at 16" o.c. One of the corridor walls was eliminated in the center of the building to open a larger cafeteria space on the ground floor. The load from the eliminated bearing wall is supported on a network of structural steel beams and columns. The masonry exterior bearing walls and the interior wood bearing walls are supported on concrete grade beams which in turn are pile supported. The length and capacity of the piling were not indicated. The boiler room at the rear of the building is not framed in wood. It is a one story structure with a concrete poured-in-place pan joist system as the roof structure.

In approximately 1955 a three story addition was added to the Green Street side of the main school building with a detached one-story gymnasium. There were no available construction documents for these additions. The three story addition is a concrete poured-in-place pan joist floor system with concrete beams and columns.

The gymnasium was constructed with a barrel shaped roof supported on structural steel trusses with "X" bracing in the opposite direction. The walls of the gymnasium consist of brick and CMU. The building, but not the floor slab, is assumed to be supported on timber piles, but this could not be verified.

## Observations

### Classroom Building:

Observations were made of existing conditions that were accessible. Building finishes were not removed in connection with these observations. Calculations of existing framing were not part of the scope. The timber framing observed was in generally good condition, with the exception of localized water-damaged members. This damage, in most cases, could be traced to water leaks in the roof. Every third floor and roof joist was tied positively to the masonry walls. This was done with a flat steel bar anchored to the joists and hooked into the masonry wall. The ends of the joists at the masonry pockets were treated with tar. The interior wood stud walls were not accessible to view because of wall coverings.

The exterior masonry walls are three wythes thick. There are no expansion or control joints in the masonry walls, which was typical for this era of construction. However, masonry cracking was observed in approximately forty locations. At the front parapet along Leonidas Street, approximately 240 SF of masonry had been replaced at some time in the past, but has again cracked. It also appears that the masonry parapet has been replaced (or repointed) on the Birch Street side.

Elevations were taken on the protruding brick course of the main building above the first floor. The results indicate that the building has settled differentially 3½"; the high point is on the Green Street side and the low point is on the Birch Street side. There is no positive lateral load element in the building except the exterior walls. The first floor slab is not pile supported and is in very poor condition.

### Gymnasium:

It was noted that the top members of the two end trusses have rusted. The other framing members appear to be in good condition. Elevations were taken by Gandolfo Kuhn, LLC, on the finished floor. The readings indicated that the slab has settled differentially 2½", and like the classroom building, the high side is along Green Street and the low side along Birch Street. Masonry wall cracking was noted in four locations.

## Recommendations and Estimated Cost

1. Place two steel K-braces in the classroom building to supplement the lateral load resistance in the building.

- Estimated cost: \$250,000

2. Replace 88 steel lintels in the classroom building over all exterior doors and windows.

- Estimated cost: \$160,000

3. Remove and replace cracked bricks on each side of the 40 cracks in the main building and four cracks in the gymnasium. Place ¼" stainless steel rod x 2'-6" at every third brick course across the repaired crack. We are recommending to repair the masonry cracks, but recognize that masonry cracking will continue because of the lack of masonry control joints and the differential settlement.

- Estimated cost: \$290,000

4. Replace the first floor slab in the classroom building with a 5" reinforced concrete slab

- Estimated cost: \$207,000

5. Repair wood framing that has been damaged and that was noted in our walk-through.

- Estimated cost: \$25,000

6. We would recommend that a thermal imaging program be implemented to document water and termite damage to the wood framing members. This would better define any damage to the wood. Additional damage uncovered by the thermal imaging would be an additional repair cost.

- Possible Contact: Gurtler Bros. Consultants  
622 City Park Avenue  
New Orleans, LA 70119  
504-486-8500



### Section 2.3 Architectural Assessment

With the 1955 addition, the main building is approximately 33,680 square feet with 13,767 sf at the ground floor, 10,194 sf at the second floor and 9,719 sf at the third floor. The building has a small attic or crawl space and a low pitched roof which drains to the Joliet side of the building.

The floors and wall partitions of the classroom building are wood-framed, with 2 x 14 floor joists that are pocketed into the masonry bearing walls. The upper two floors are laid out with classrooms on either side of a central, nine foot wide corridor with stairs at either end. The first floor has some larger areas that were used for recreation rooms and a cafeteria. This necessitated the incorporation of a wide flange steel beam at the second floor level to support the corridor wall above. This beam is supported by wide flange steel columns that rest on pile caps. The majority of the first floor level is at grade with the entrance and former kitchen being the only raised portion of the first floor.

The main building is in poor shape, due to differential settlement and to the removal of four copper gravity ventilators at the roof that have allowed water to enter the building for a number of years, causing damage to the third floor deck and joists. In addition, probably at the same time, the copper coping protecting the masonry parapet walls was removed leaving exposed wood blocking at that condition. There is also evidence of termite infestation throughout the building. According to an earlier report conducted after Hurricane Katrina the site reportedly sustained an estimated foot of flood water from the storm. It is unclear whether flood water entered the buildings.

The exterior masonry walls are showing signs of settlement and cracking at multiple locations, typically at the parapets, parapet corners and at the window sills. It appears that a large portion of the parapet on both the Leonidas and Birch Street elevations were either rebuilt or repointed at some point. The southeast parapet corner of the 1955 addition has also shifted approximately two inches due to a lack of expansion joints in the exterior walls. The parapet in the original structure is approximately three feet high on the Joliet Street side. It is approximately six feet high in the 1955 addition due to the lack of an attic or crawl space in that portion of the building.

See Section 3.3, page 67, for Mechanical Reference Images

| MECHANICAL      |          |    |    |           |                         |        |         |   |
|-----------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                 | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                                  |
|                 | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Window Units    |          | X  |    |           |                         |        | X       | No longer in-place (Image M01)            |
| Heating Boilers |          | X  |    |           |                         |        | X       | No longer in-place (Image M02)            |
| Radiators       |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M03) |
| Piping          |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M04) |
| Fan systems     |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M05) |
| Components      |          | X  |    |           |                         |        | X       | Non-functional, not re-usable             |



## Section 2.4 Mechanical Assessment

The heating system in-place appears mostly original to the building and consists of hot water convectors or radiators, with hot water unit heaters augmenting the radiators where required. This methodology for heat is effective, but obsolete. Coupled with the facts that the steel piping system has been inactive and abandoned to rust for so many years and that the boilers have been removed, this system should be removed and replaced in its entirety with heating that integrates into a modern HVAC system.

The only mechanical ventilation provided for the main building was exhaust fans to remove heat and odors and wall mounted propeller fans to provide ventilation in the Gymnasium. The only source of outdoor air was infiltration through doors and operable windows. This methodology is no longer allowed by modern Codes and a ventilation system integrated into a modern HVAC system will be required to place the building in-service.

Air conditioning for the main school building was not provided as part of the original construction and was an afterthought consisting of window air conditioners which have been removed and were wired by way of exposed conduits and outlets and controlled by manual wall switches. The Gymnasium was not air conditioned.

### Mechanical Summary & Recommendations

To place the facility in-service, a modern HVAC system must be installed to provide heating, cooling and ventilation to the both buildings.

### Plumbing Assessment

Plumbing systems appear original to the building and consist of vitreous china lavatories and toilets in restrooms. All kitchen fixtures have been removed. While the hot, cold and drainage piping systems serving the existing fixtures remain in-place, it's most likely that the many years of non-use have allowed them to deteriorate to the point of being unusable.

### Plumbing Summary & Recommendations

1. The fixtures themselves appear, for the most part, to be in decent condition; however, they do not meet current standards for water usage efficiency and should be replaced as the building is placed back in-service.
2. Exposed storm drainage piping is no longer continuous and must be replaced.

See Section 3.3, page 68, for Reference Images

| PLUMBING        |          |    |    |           |                         |        |         |   |
|-----------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                 | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS  |
|                 | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Domestic Water  |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Sanitary System |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Gas Service     |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Storm Water     |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable<br>(Image P01) |
| All components  |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable<br>(Image P02) |

**Fire Protection Assessment**

Fire protection sprinklers were provided to a portion of the building only. While the sprinkler control valve assembly is intact, as is much of the piping and sprinkler heads, it's unlikely these components are in working order due to the length of inactivity and would not be reusable in a system of full sprinklers required by current Codes.

**Fire Protection Summary & Recommendations**

A complete automatic fire sprinkler system must be provided for the entire facility.

See Section 3.5, page 69, for Reference Images

| FIRE PROTECTION  |          |    |    |           |                         |        |         |  |
|------------------|----------|----|----|-----------|-------------------------|--------|---------|--|
|                  | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS   |
|                  | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |  |
| Sprinkler System |          | X  |    |           |                         |        | X       | Only installed on ground floor, non-functioning, not reusable (Image FP01) |
| All components   |          | X  |    |           |                         |        | X       | Non-functioning, not-re-usable   |

See Section 3.4, page 70, for Reference Images

| ELECTRICAL – DISTRIBUTION |          |    |    |           |                         |        |         |   |
|---------------------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                           | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                                  |
|                           | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Power Distribution        |          | X  |    |           |                         |        | X       | Gutted, not re-usable (Image E01)         |
| Power Components          |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E02) |
| Lighting                  |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E03) |
| Lighting Components       |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E04) |

| ELECTRICAL – SPECIAL SYSTEMS |          |    |    |           |                         |        |         |                               |
|------------------------------|----------|----|----|-----------|-------------------------|--------|---------|-------------------------------|
|                              | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                      |
|                              | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |                               |
| Fire Alarm                   |          | X  |    |           |                         |        | X       | Does not exist                |
| Telecommunications           |          | X  |    |           |                         |        | X       | Does not exist                |
| Public Address               |          | X  |    |           |                         |        | X       | Non-functional, not re-usable |
| Access Control               |          | X  |    |           |                         |        | X       | Does not exist                |
| CCTV                         |          | X  |    |           |                         |        | X       | Does not exist                |

## **Section 2.5 Electrical Assessment (Power, Lighting & Special Systems)**

Existing electrical power systems for the building are of several vintages indicating renovations over the life of the building, not the least of which was the addition of window air conditioners. Many of the augmented systems were accomplished with surface mounted panelboards and unsightly exposed conduit and wiring systems

All of the electrical service equipment and much of the distribution equipment and copper wiring has been cannibalized and the electrical systems in their entirety must be replaced, in order to place the facility back in-service. Electrical devices such as switches and receptacles are, for the most part, intact; however, they are obsolete and must also be replaced

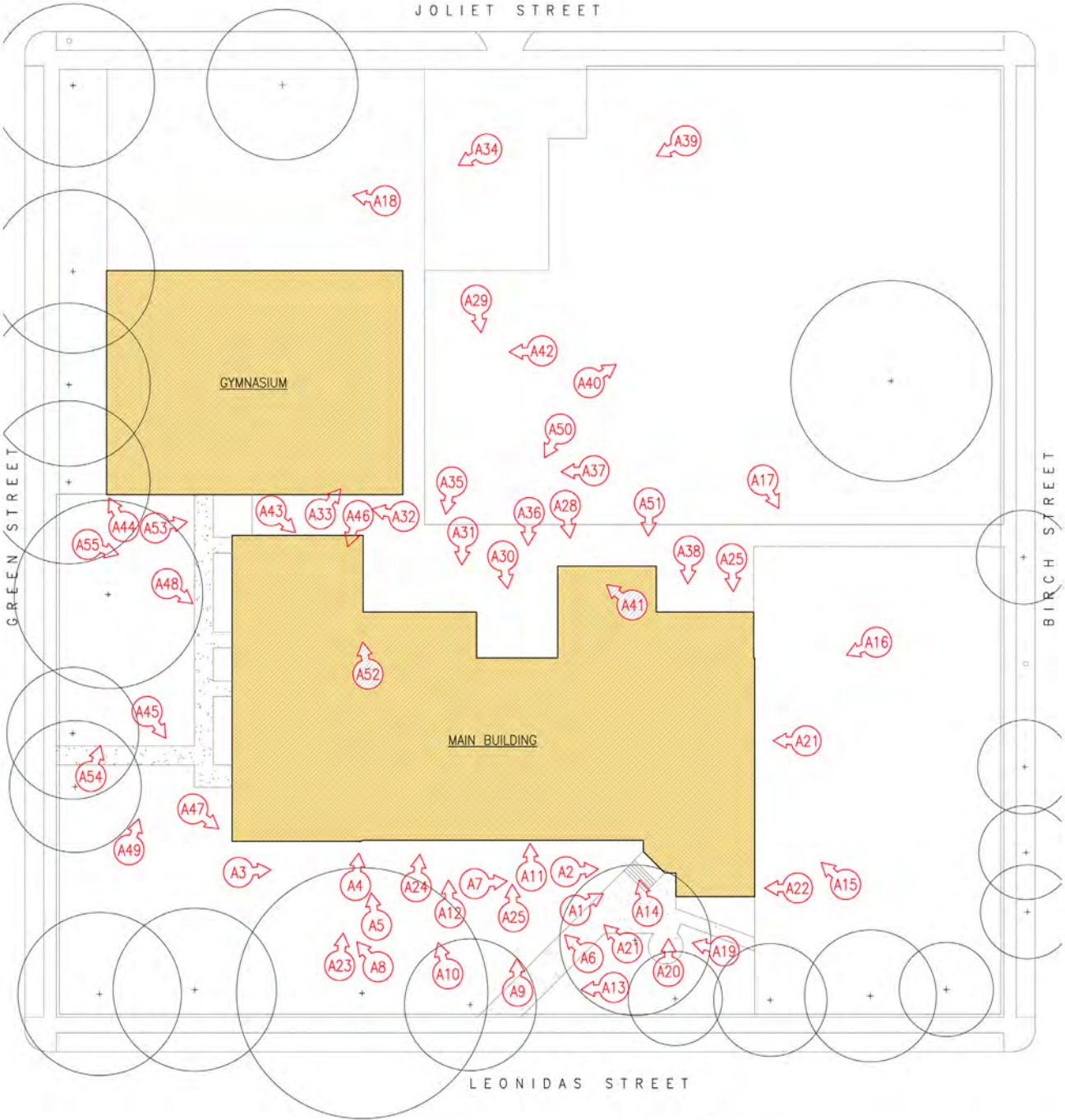
Electrical lighting systems and their branch circuits also still, for the most part, exist; however, not only would the cost to refurbish the existing systems be prohibitive, but also, the existing fixtures are obsolete and do not provide the quality and quantity of light, as well as energy efficiency required by present Codes

### **Electrical Summary & Recommendations**

Special systems components such as fire alarm, telephone wiring, intercom, and public address exist at some level, while others such as data wiring and security systems do not exist. In order for the facility to be functional to today's standards, all electrical and special systems must be replaced



# CHAPTER 3 EXISTING CONDITIONS PHOTOGRAPHS



Site Plan Photograph Key







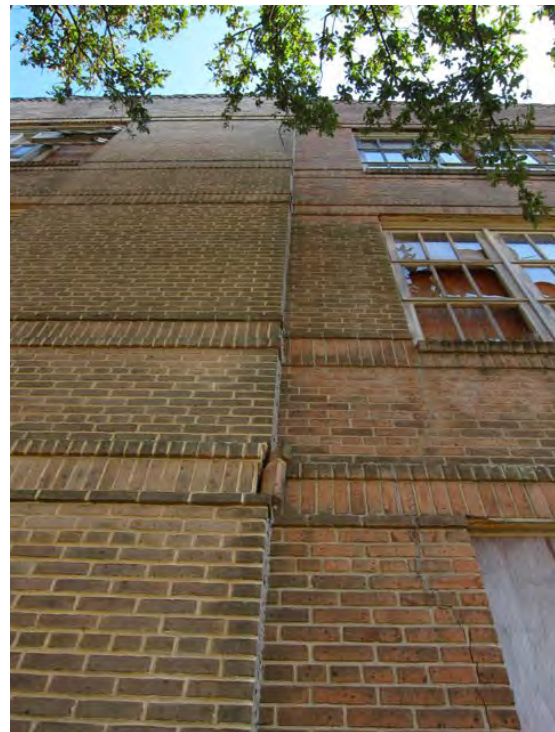
**A1** Main Entry



**A2** Main Entry



**A3** Northwest Façade



**A4** Joint at Addition on Northwest Side





**A5** Joint at Addition on Northwest Side-Ledge



**A6** Northwest Façade



**A7** Main Entry Facing Southwest



**A8** Northwest Façade at Addition



**A9** Northwest Façade



**A11** Rebuilt Brick Parapet at Northwest Side



**A13** Trees Along Leonidas Street





**A10** Northwest Façade



**A12** Masonry Crack at Northwest Façade



**A14** Handrail at Main Entry



**A15** Southwest Façade





**A16** Southwest Façade



**A17** Play Yard Facing West Corner (Birch and Leonidas)



**A18** Asphalt Paved Yard Facing East (Green and Joliet)



**A19** Flagpole at Main Entry



**A20** Patterned Brick and Building Sign above Main Entry



**A21** Exterior Window at South Stair



**A22** Exterior Southwest Corner



**A23** Exterior Joint at Addition





**A24** Exterior- Crack Below Sill



**A25** Exterior- Typical Wood Window



**A26** Paving at Main Entry



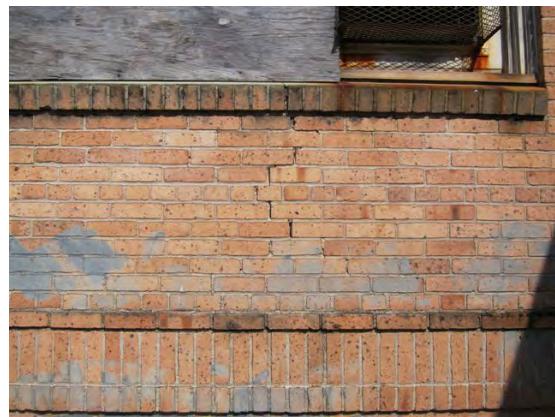
**A27** Exterior- Southeast Corner



**A28** Plant Growth in Masonry at Boiler Room



**A29** Exterior- Southeast Façade



**A30** Masonry Crack Below Sill at Façade



**A31** Wood Windows and Copper Downspouts-  
Leaderheads



**A32** Northwest Façade of Gym





**A33** Gym Roof



**A35** Southeast Façade at Addition



**A34** South Corner of Gym



**A36** Masonry Crack Adjacent to Window



**A37** Area Between Gym and Main Building Facing Northeast





**A38** Watertable Course in Masonry at Main Building



**A39** Gym South Corner



**A40** Play Yard Facing South Corner (Birch and Joliet)



**A41** Gym from Roof of Main Building



**A42** Masonry Cracks in Gym Wall

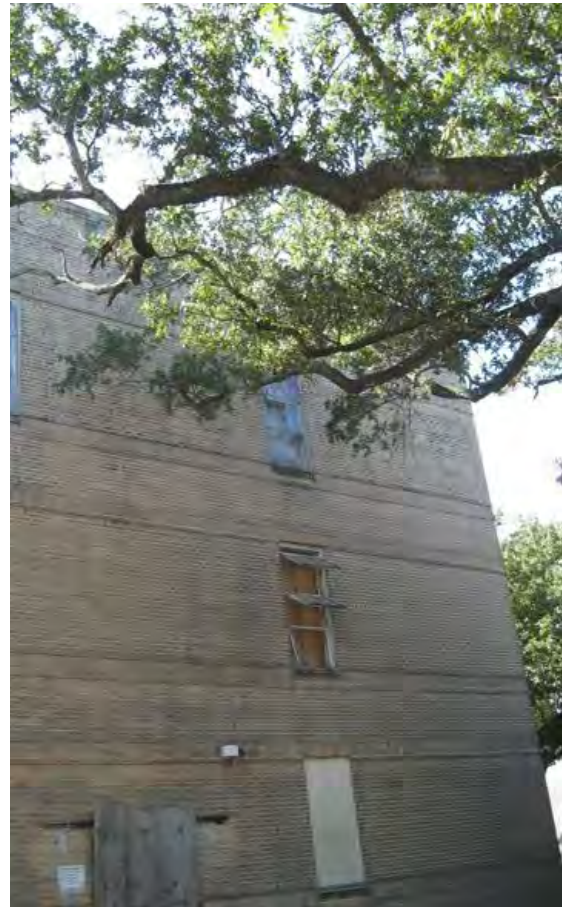


**A43** Southeast Façade at Addition

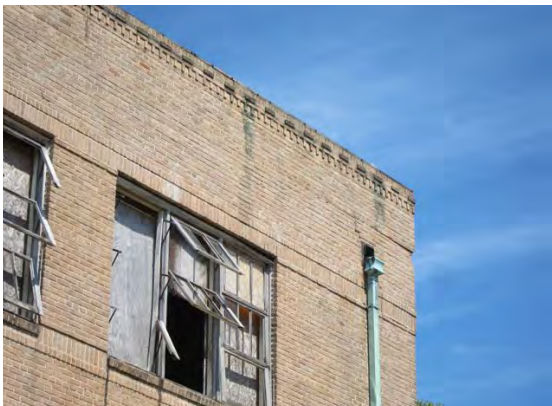




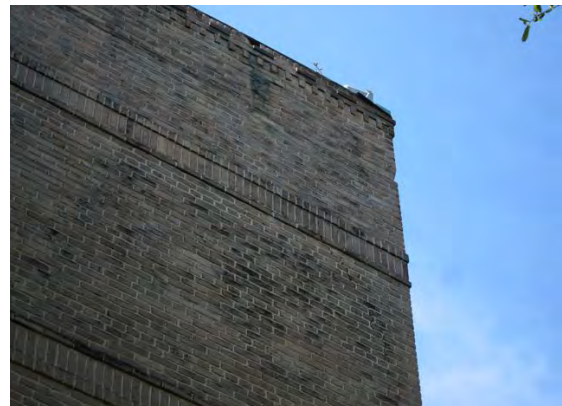
**A44** North Corner of Gym



**A45** North Corner of Addition



**A46** Parapet East Corner



**A47** Masonry Movement at Parapet



**A48** Exterior- Northwest Side



**A50** Southeast Façade



**A49** Paving at Northeast Side





**A51** Masonry Cracking Adjacent to Boiler Stack



**A52** Joint at Addition Looking Down from Roof



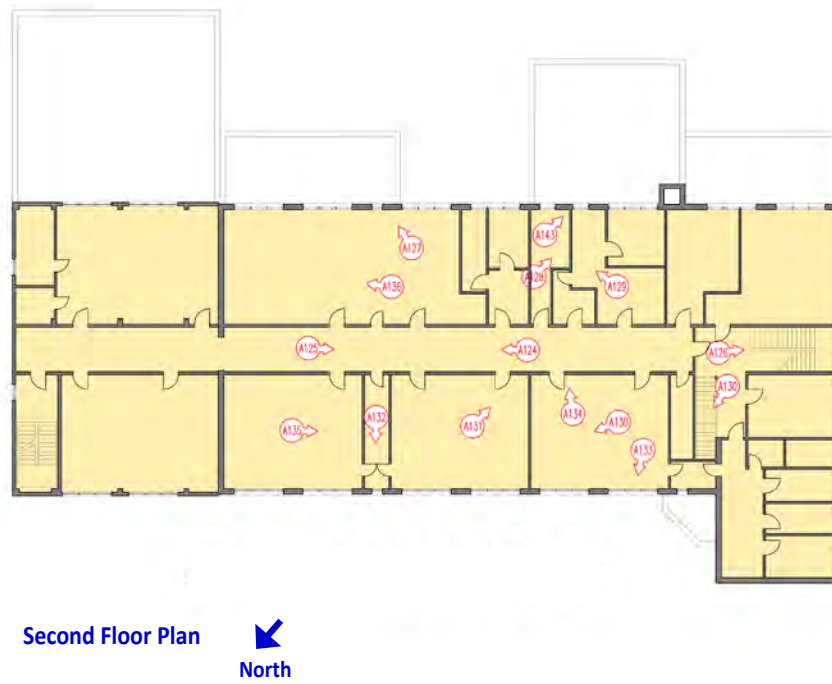
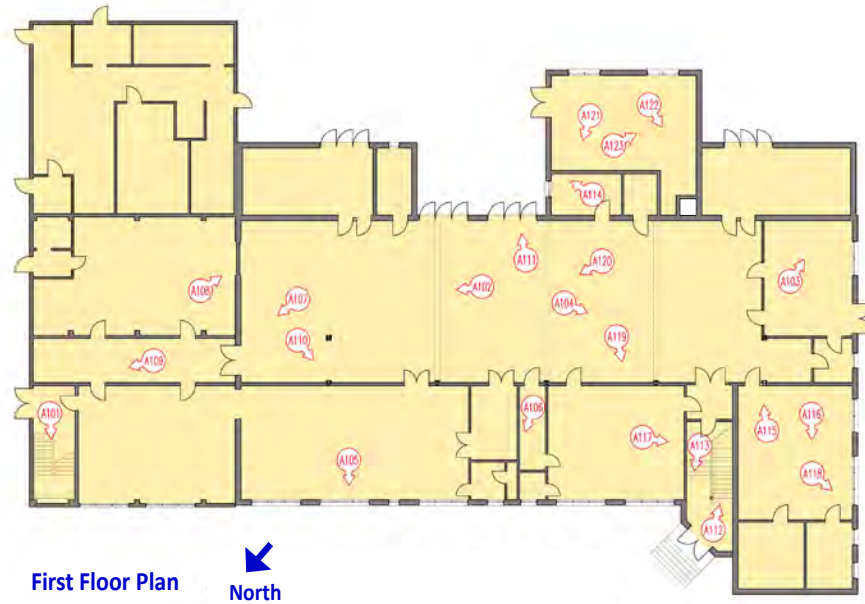
**A53** Area Between Gym and Main Building Facing Southwest



**A54** Northeast Corner Facing Gym



**A55** Northeast Corner



Floor Plans and Photograph Key



Existing Conditions of Interior Photographs



**A101** North Stair at Addition



**A102** Cafeteria Facing Gym



**A103** Existing Kitchen



**A104** Cafeteria Facing Southwest



**A105** Typical Window Condition



**A106** Settlement at First Floor Slab



**A107** Termite Damage at Door Frame



**A108** Exposed Brick at Addition



**A109** Sprayed Finish at Concrete Addition



**A111** Typical First Floor Exterior Doors



**A110** Walls, Base and Chair Rail

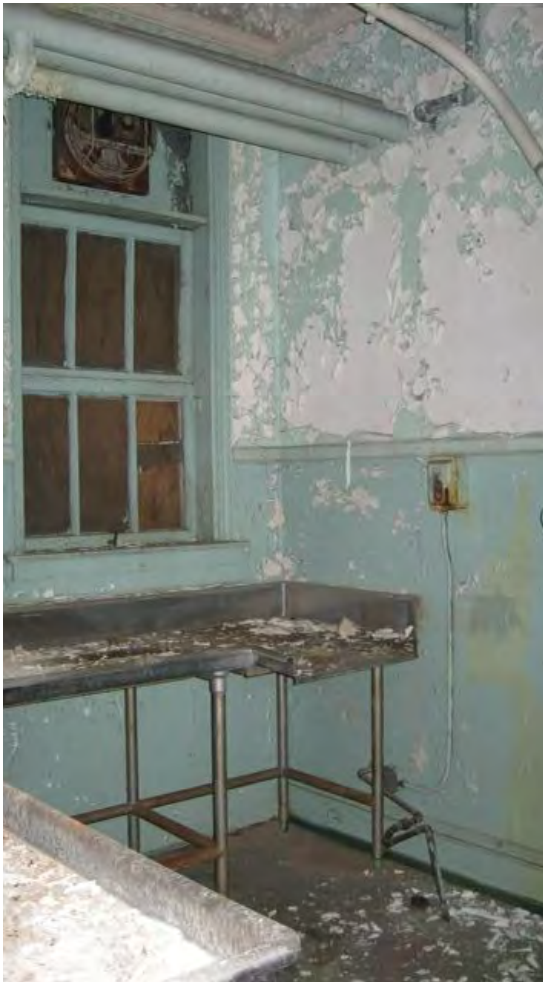




**A112** Existing Stair at Main Entry



**A113** Raised Platform at Main Entry



**A114** Dish Wash Room



**A115** Typical First Floor Interior Door



**A116** Non-original Partitions



**A117** Typical Chalkboard with Wood Trim





**A118** Termite Damage at Interior Woodwork



**A119** Typical Exposed Sprinkler and Electrical at Cafeteria



**A120** Transfer Beam Under Loadbearing Corridor Wall at Floors Above



**A122** Boiler Room



**A121** Exterior- Window at South Stair



**A123** Boiler Room



**A124** Second Floor Corridor Facing North



**A125** Second Floor Corridor Facing South





**A126** South Stair at Second Floor



**A127** Termite Damage at Window Stool



**A128** Second Floor Toilet Room



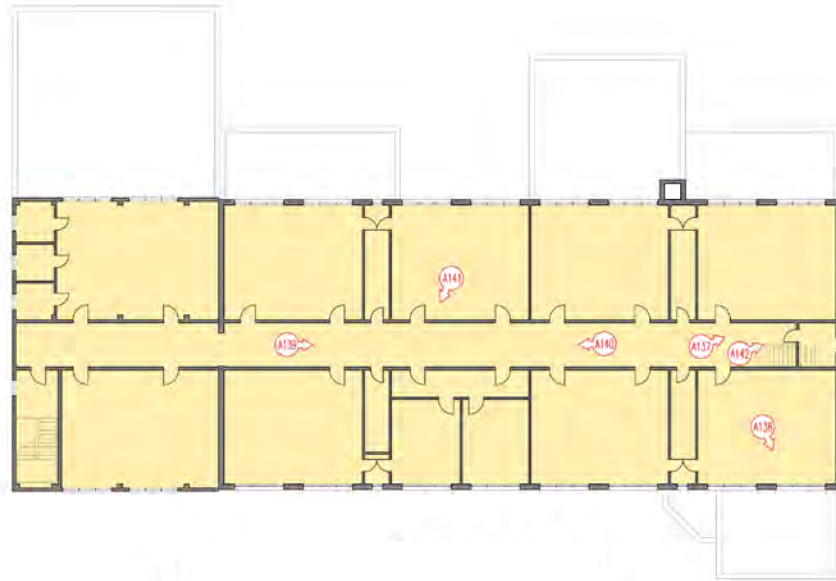
**A129** Clock System Control Panel



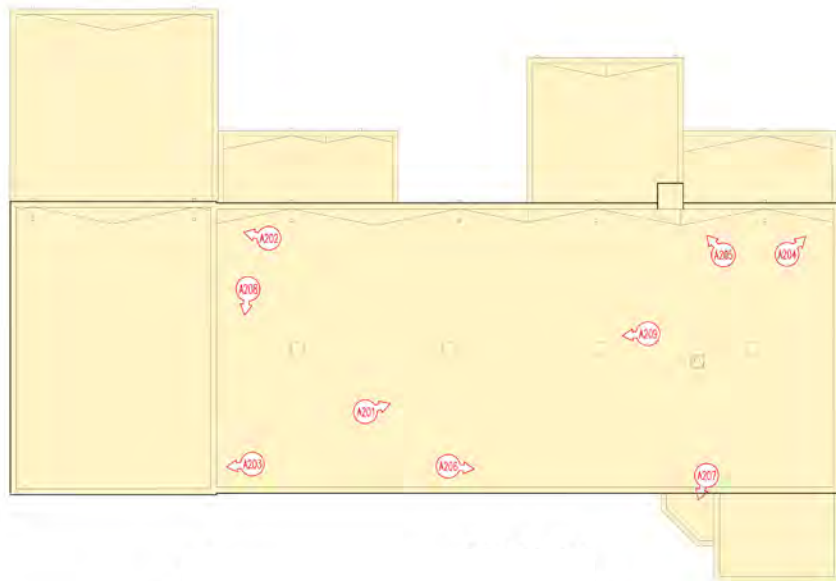
**A130** South Stair to Main Entry



**A131** Typical Built-In Classroom Storage



Third Floor Plan  
North



Roof Plan  
North

Floor Plans and Photograph Key





**A132** Built-in Storage at Coat Room



**A134** Typical Corridor Door to Classroom



**A133** Typical Wood Floor Framing



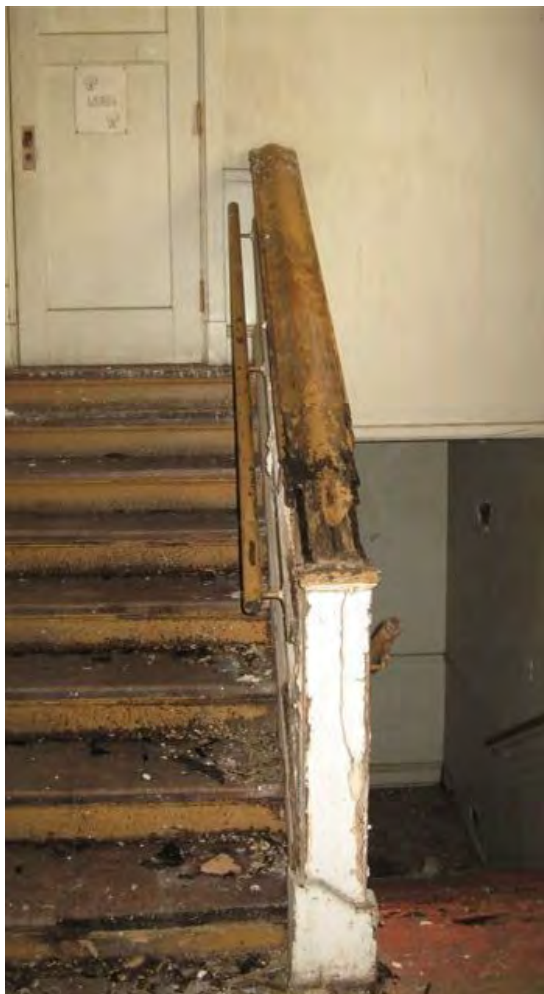
**A135** Wall Calendar from Last Occupants



**A136** Typical Light Fixture



**A138** Third Floor Classroom



**A137** South Stair at Third Floor



**A139** Third Floor Corridor Facing South





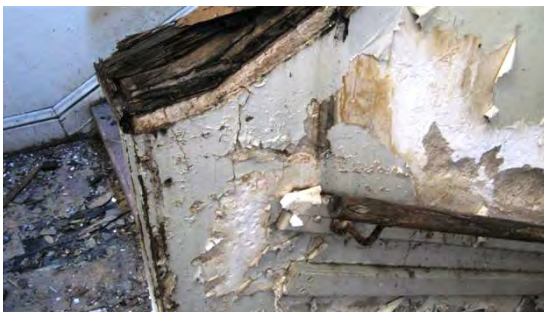
**A140** Third Floor Corridor Facing North



**A143** Toilet Room Second Floor



**A141** Typical Classroom Door-Transom at Second and Third Floors



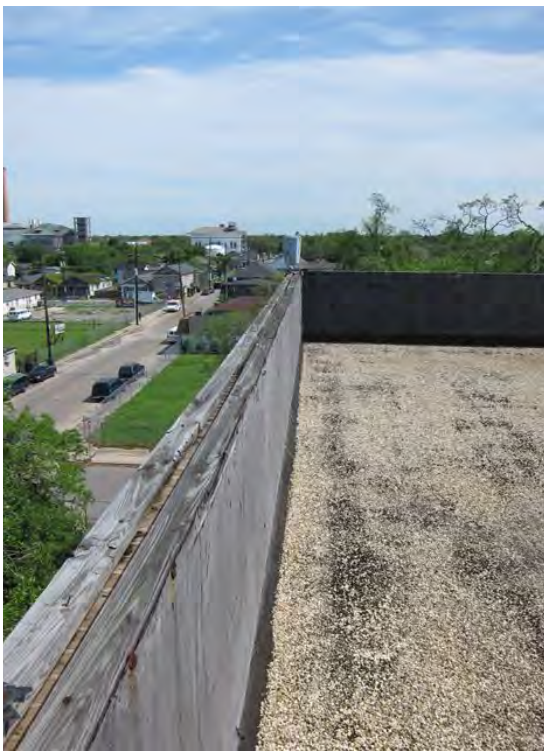
**A142** Damage at South Stair Guardrail



**A201** Roof Looking South



**A202** Parapet at Addition Looking Northeast



**A203** Parapet at Addition Looking Northeast



**A204** Existing Gravel-Ballasted Low Slope Roof



Existing Conditions of Roof Photographs



**A205** Masonry at Boiler Stack



**A206** Main Entry and Southwest Wing from Roof



**A207** Main Entry Roof from Above



**A209** Roof at Main Building

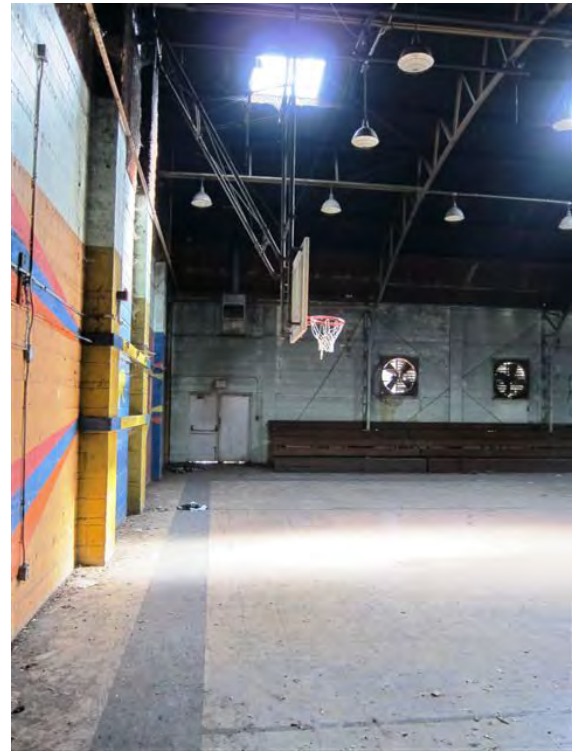


**A208** Parapet Condition at Joint Between Addition and Original Building

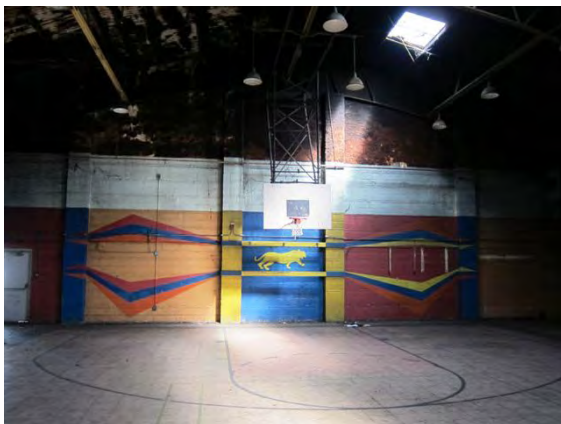




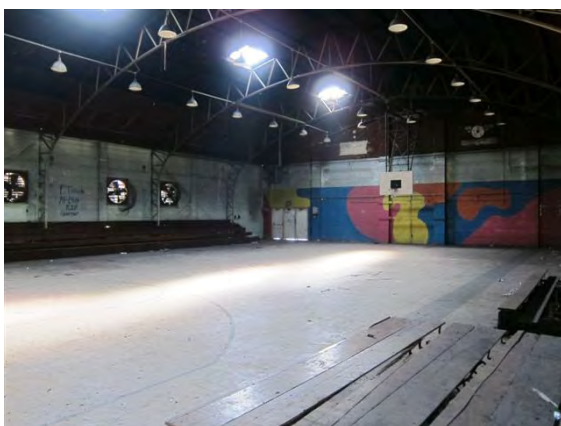
**A301** Gym Interior Facing Northwest



**A302** Gym Interior Facing Southeast



**A303** Gym Interior Facing Northeast



**A304** Gym Interior Facing North



**A305** Steel Framing at Gym

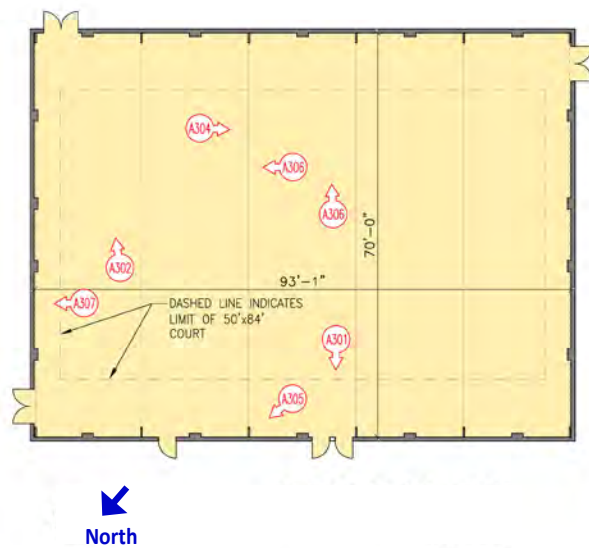
Existing Conditions of Gym Photographs



A306 Gym Interior Facing Southeast



A307 CMU and Brick Vertical Coursing at Gym



Gym Plan Photograph Key



| MECHANICAL      |          |    |    |           |                         |        |         |   |
|-----------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                 | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                                  |
|                 | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Window Units    |          | X  |    |           |                         |        | X       | No longer in-place (Image M01)            |
| Heating Boilers |          | X  |    |           |                         |        | X       | No longer in-place (Image M02)            |
| Radiators       |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M03) |
| Piping          |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M04) |
| Fan systems     |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image M05) |
| Components      |          | X  |    |           |                         |        | X       | Non-functional, not re-usable             |



**M01** Missing Window Unit



**M02** Missing Boilers



**M03** Non-Functioning Radiator



**M05** Non-Functioning Fan



**M04** Non-Functioning Piping



**P01** Non-Functioning Storm Water



**P02** Non-Functioning Sink

| PLUMBING        |          |    |    |           |                         |        |         |   |
|-----------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                 | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS  |
|                 | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Domestic Water  |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Sanitary System |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Gas Service     |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable                |
| Storm Water     |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable<br>(Image P01) |
| All components  |          | X  |    |           |                         |        | X       | Non-functional,<br>not re-usable<br>(Image P02) |





**FP01** Non-Functioning Sprinkler Rig

| FIRE PROTECTION  |          |    |    |           |                         |        |         |  |
|------------------|----------|----|----|-----------|-------------------------|--------|---------|--|
|                  | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS   |
|                  | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |  |
| Sprinkler System |          | X  |    |           |                         |        | X       | Only installed on ground floor, non-functioning, not reusable (Image FP01) |
| All components   |          | X  |    |           |                         |        | X       | Non-functioning, not-re-usable   |

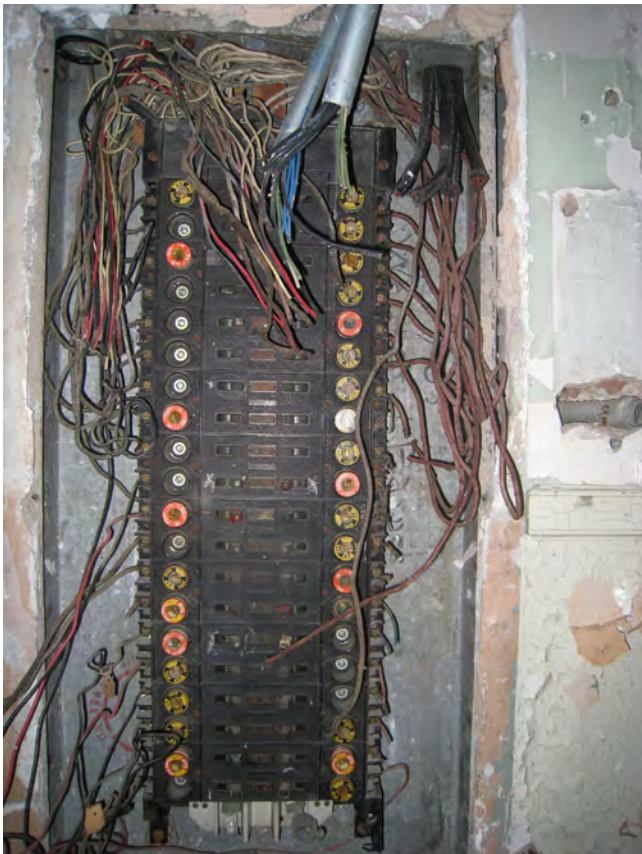




**E01** Gutted Power Distribution



**E03** Non-Functioning Lighting



**E02** Non-Functional Components



**E04** Non-Functioning Components

| ELECTRICAL – DISTRIBUTION |          |    |    |           |                         |        |         |   |
|---------------------------|----------|----|----|-----------|-------------------------|--------|---------|---|
|                           | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                                  |
|                           | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |   |
| Power Distribution        |          | X  |    |           |                         |        | X       | Gutted, not re-usable (Image E01)         |
| Power Components          |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E02) |
| Lighting                  |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E03) |
| Lighting Components       |          | X  |    |           |                         |        | X       | Non-functional, not re-usable (Image E04) |

| ELECTRICAL – SPECIAL SYSTEMS |          |    |    |           |                         |        |         |                               |
|------------------------------|----------|----|----|-----------|-------------------------|--------|---------|-------------------------------|
|                              | CONFORMS |    |    | CONDITION |                         |        |         | COMMENTS                      |
|                              | YES      | NO | NA | GOOD      | MAINTENANCE<br>REQUIRED | REPAIR | REPLACE |                               |
| Fire Alarm                   |          | X  |    |           |                         |        | X       | Does not exist                |
| Telecommunications           |          | X  |    |           |                         |        | X       | Does not exist                |
| Public Address               |          | X  |    |           |                         |        | X       | Non-functional, not re-usable |
| Access Control               |          | X  |    |           |                         |        | X       | Does not exist                |
| CCTV                         |          | X  |    |           |                         |        | X       | Does not exist                |

## CHAPTER 4 OPINION OF PROBABLE COST OF CONSTRUCTION

### Architectural Summary & Recommendations

Three options were requested with regard to the use of the buildings and site. The first option was to determine the number of classrooms that the three story building could accommodate and to provide a plan and order of magnitude cost for the renovation of the buildings as a stand-alone facility, knowing that the structures do not contain enough square footage for any of the school facility models the owner is considering.

The second option was to renovate the existing buildings (renovate the existing gymnasium building as a gymnasium) and show a plan and massing for new construction to bring the site up to a 2 section per grade Pre-Kindergarten through Eighth Grade school of 87,000 sf. The existing gymnasium building is marginally acceptable as a middle school basketball court with regard to size and clearances in plan—however, it does not meet the height requirements for a middle school gymnasium facility at the edges of the basketball court. An alternate strategy might be to make the existing gymnasium structure into the cafeteria and kitchen and construct a new regulation size gymnasium.

The third option was to renovate the three story classroom building, demolish the gym and expand the existing building to a 2 section per grade Pre-Kindergarten through Eighth Grade school of 87,000 sf. This option would include a new gymnasium in place of the demolished former gymnasium.

### **OPTION A: RENOVATION OF EXISTING BUILDINGS FOR CLASSROOM USE (no new construction)**

The buildings are in such a deteriorated condition that this project would require a complete restoration of the exterior and extensive demolition and renovation of the interior, leaving only the structural framing intact. We are unsure of the amount of the structural framing (stud walls and wood floor joists and roof framing) that are sound, but our opinion from visual observation is that the majority of the wood appears to be in good shape. This will require further investigation and possibly thermal imaging testing. The existing building could accommodate approximately 18 classrooms as shown in the plan diagrams below.

Other than the stainless steel (or aluminum) school name sign, it appears that there are no items of historical value to salvage or restore. The list of work items below was developed to establish a cost model for renovating the existing buildings (the only addition being an exterior fire stair tower at the Green Street end.)

Work required for a full renovation would include, but not be limited to:

**Classroom Building**

**Exterior Work:**

1. New roof deck, insulation and modified bitumen roof, parapet flashings and parapet cap
2. Repointing of all the exterior masonry including lacing in brickwork at all existing masonry cracks at window heads and sills and at parapets; replace all steel window lintels; clean masonry; install steel angles at window jambs.
3. Demolish one story portions of the building on the south (Joliet Street) side and repair masonry
4. Install new painted steel, code-compliant/wind rated windows and doors with high impact glazing; install new steel lintels at all window and door openings and steel jamb and sill angle supports at all windows.
5. Install new masonry fire stair structure at Green Street end of the building

**Interior Work:**

6. Install new 5" thick ground floor slab and grade beams throughout structure; termite-treat ground surface
7. Strip corridor walls down to wood studs; new steel stud framing for demising partitions; new drywall throughout
8. Install new 3 5/8" studs and batt insulation at exterior walls; new drywall
9. Install insulation between floor joists throughout and install 2 layers of drywall at bottom of joists
10. Install new layer of 3/4" plywood over existing flooring in classroom areas with VCT as floor finish; salvage wood flooring for reuse in corridors
11. Install millwork elements (window and door trim, cabinets, cubbies, etc.)
12. Install new interior steel stairs
13. Install 2 new interior steel K- braces for lateral support (see Structural section)
14. Install new wood doors and transoms and wood trim throughout interior; install hollow metal doors and frames at exterior
15. Install new 2' x 2' acoustical ceiling grid and panels throughout
16. Install terrazzo floor finish in first floor corridors and entry hall

17. Install new finishes throughout entire building (w/ceramic tile walls and floors and drywall ceilings in all toilet rooms)
18. Install one (1) new handicapped-accessible elevator
19. Install all new mechanical, electrical, plumbing, fire protection and special systems throughout
20. Install window coverings, lockers, marker boards and other equipment and accessories

**Gymnasium Building:**

**Exterior Work:**

1. Repair masonry cracks by lacing salvaged bricks across joints per structural recommendations

**Interior Work:**

1. Install mechanical, electrical, plumbing, fire protection (sprinkler and fire alarm), special systems
2. Install 3" topping slab
3. Install bleachers and athletic equipment
4. Install synthetic (sheet) gym flooring surface
5. Prepare and paint interior surfaces of exterior walls
6. Install new hollow metal doors and frames; install new code-compliant/wind rated windows
7. Repair rusted steel roof trusses and paint; insulate underside of roof

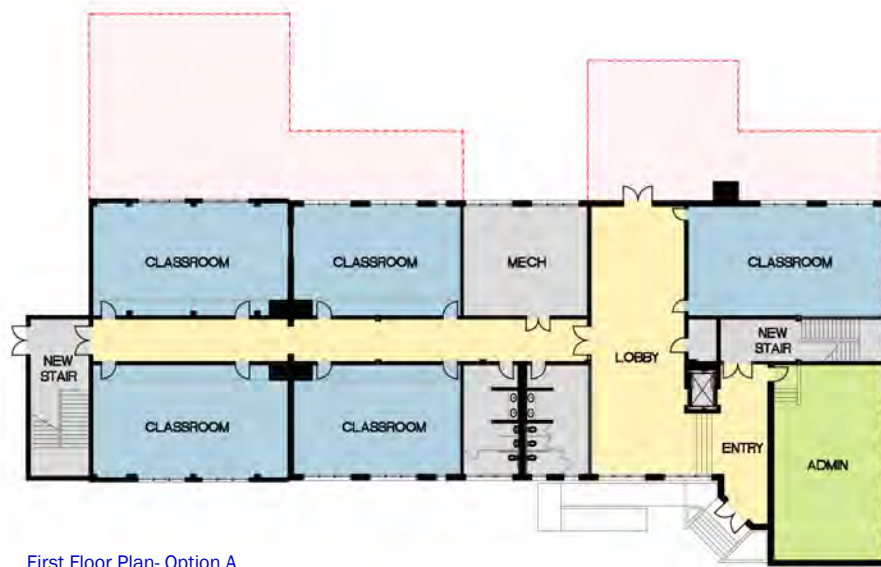
**Sitework:**

The scope of sitework is undefined and unquantifiable at present as this assessment was for the condition of the buildings. However, a square foot cost estimate has been provided for the existing amount of open space in order to establish an order of magnitude budget for site development.

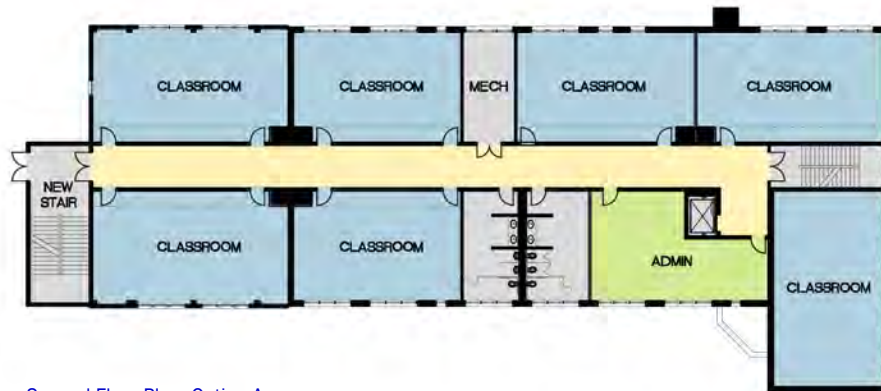
**COST OF REPAIR AND RENOVATION WORK FOR OPTION A: (pricing breakdown provided in Appendix):**

|                                 |                       |
|---------------------------------|-----------------------|
| Three Story Classroom Building: | \$7,068,141.00        |
| Gymnasium Structure:            | \$1,254,722.00        |
| <b>TOTAL COST OPTION A:</b>     | <b>\$8,322,863.00</b> |
| <u>contingency</u> +10%         | <u>\$832,286.30</u>   |
|                                 | <b>\$9,115,149.30</b> |

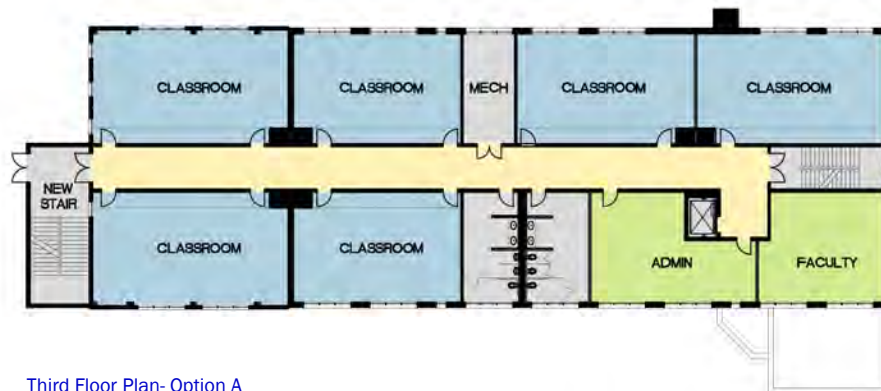




First Floor Plan- Option A



Second Floor Plan- Option A



Third Floor Plan- Option A

**OPTION B: RENOVATE BOTH EXISTING BUILDINGS FOR REUSE AND CONSTRUCT ADDITIONS FOR TWO-SECTION PER GRADE PK-8TH GRADE SCHOOL**

The scope of work for the renovation of the existing buildings would be the same as for Option A. The new building additions in Option B would involve a one story connector to the existing Gymnasium and a three story classroom, administration and cafeteria addition and entry hall along the Birch Street side of the site. New additions would be steel-framed structures (with 2 hr fireproofed perimeter columns and beams) with brick veneer (CMU backup on the ground floor) and a combination of brick veneer and metal panel with steel stud backup on the upper floors. Roof areas would be modified bitumen. A parking lot would logically be located at the corner of Green and Joliet Streets and could accommodate approximately 16 vehicles. In addition there are 50 on-street parallel parking spots on the perimeter of the site. Play areas would be on the river side along Birch Street. A small, separate Pre-Kindergarten play area could also be located along Green Street. Service for the kitchen could be accessed from Joliet Street or from the parking area. A site plan for Option B is included on the facing page.

|   |                        |                        |
|---|------------------------|------------------------|
| Three Story Classroom Building:           |                        | \$7,068,141.00         |
| Gymnasium Structure:                      |                        | \$1,254,722.00         |
| Existing Construction to be renovated:    |                        | <b>\$8,322,863.00</b>  |
| <br>New Construction:                     | 49,265 sf x \$229/sf = | \$11,297,497.00        |
| <br><b>TOTAL ESTIMATED COST OPTION B:</b> |                        | <b>\$19,620,360.00</b> |
| contingency                               | +10%                   | \$1,962,036.00         |
|   |                        | <b>\$21,582,396.00</b> |

**TOTAL EXISTING:** 37,735 SF

**PROPOSED NEW:** 49,265 SF

**PROJECT TOTAL:** 87,000 SF



Site Plan- Option B   
North

**OPTION C: RENOVATE EXISTING CLASSROOM BUILDING ONLY AND CONSTRUCT ADDITIONS FOR TWO-SECTION PER GRADE PK-8th GRADE SCHOOL**

The scope of work for the existing 3 story classroom building would be the same as for Option A. This option would include the demolition of the existing circa 1955 gymnasium structure. The new additions in Option C (same construction as in Option B) would include a new entry, a gymnasium, additional classrooms, administration offices, a kitchen and cafeteria. The U-shaped building would form a play court and allow for additional play space along the Birch street side of the site. A small Pre-Kindergarten play area could be located along Green Street in the same location as that in Option B. On-site parking in Option C would be limited. However, there are approximately 50 on-street parallel parking spaces on the school side of the perimeter of the block. A Site plan for Option C is included on the facing page.

|  |   |
|--|---|
| Existing Three Story Classroom Building to be Renovated: | \$7,068,141.00                          |
| New Construction:  | 56,000 sf x \$ 229/sf = \$12,824,000.00 |

|                                       |                        |
|---------------------------------------|------------------------|
| <b>TOTAL ESTIMATED COST OPTION C:</b> | <b>\$19,892,141.00</b> |
| contingency                           | + 10% \$1,989,214.10   |
|                                       | <b>\$21,881,355.10</b> |

**SUMMARY**

In summary, the existing buildings are notable, historic and worth preserving if feasible with regard to cost and the goals of the Owner. Pre World War II structures such as the original building contribute to the historic district and character of the neighborhood and should be retained if at all possible. Further, it was designed by City architect E.A. Christy whose dozens of schools and fire houses are woven into the historic fabric of New Orleans.

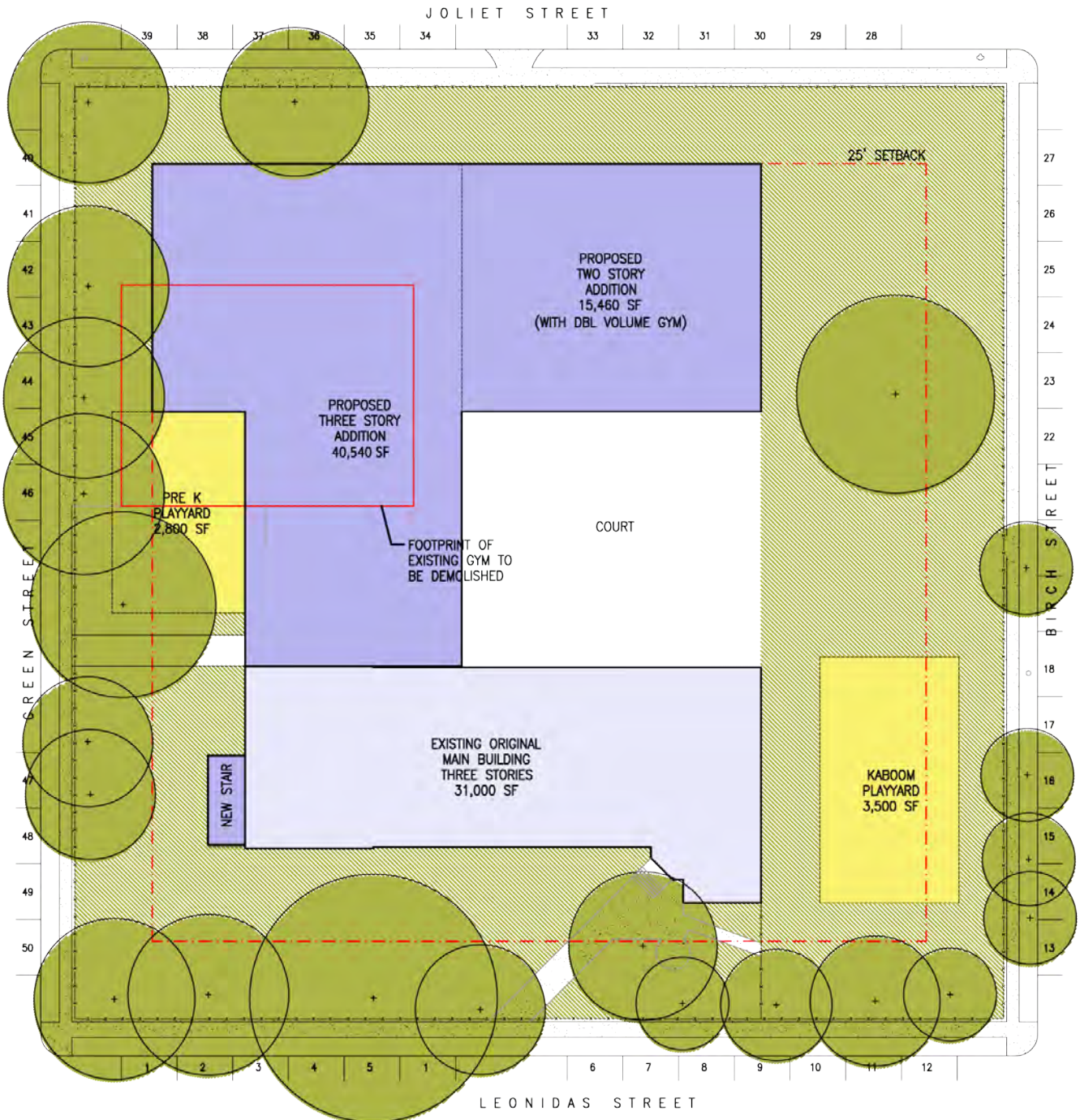
The problems that have been identified with regard to settlement of the structures and the cracking brickwork are typical of many of the masonry bearing wall structures throughout the City. Most of the valuable real estate in the Vieux Carre is constructed of masonry bearing walls that exhibit similar problems. The masonry cracks will reappear over time as the building continues to slowly settle, but the measures put forth in this report should limit this problem to a great extent, and these buildings should be able to serve a long term purpose as a modern school facility.



**TOTAL EXISTING: 31,000 SF**

**PROPOSED NEW: 56,000 SF**

**PROJECT TOTAL: 87,000 SF**



Site Plan- Option C   
North

## CHAPTER 5 APPENDICES

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**Orleans Parish Schools**COMET4 Facility Report  
**Facility Executive Summary Report**

Report Date: 13 Aug 2008

**Facility:** \OPSB Schools\Priestley 999  
**Address:** 1619 Leonidas St., New Orleans, LA 70118**Attributes:**  
\*\*\*None\*\*\***General Information:**  
**Function:** Middle / Junior High**Facility Description:****GENERAL**

The vacant Priestley Jr. High School #999 is located at 1619 Leonidas Street in New Orleans, LA. The Main Building on campus is a 3-story, 32,834 square foot building that was originally constructed in 1955. There is also a Gymnasium which was built sometime after the Main Bldg, perhaps in 1955; it has 6,548 square feet of floor space. There have been numerous renovations, but we have no documented information. The school campus has been abandoned and unoccupied since 1993 and not maintained with the exception of the site landscaping and grass mowing which has been maintained at a minimum level. During the assessment survey it was observed certain storm-attributable deficiencies had occurred, and no reports of renovations had been performed. Based on GIS query of the site against National Oceanic and Atmospheric Administration (NOAA) public flood maps, this facility campus reportedly sustained an estimated one (1) foot of storm floodwater in the aftermath of Hurricane Katrina. The only apparent evidence of storm damage at this site was wind damage to roof, but this is not conclusive due to the abandoned state of the facility. The facility has extensive damage and most is beyond repair. There is evidence of termite infestation.

**SITE**

Surface parking is available on site. There is an asphalt area which can be used for parking but none out of approximately 15-20 potential spaces are handicap spaces and path to building entrances appears to not comply with ADA requirements. Parking striping does not exist. Landscaping is mature, is in fair condition and is not irrigated. Drainage is generally inadequate and is handled by surface discharge and limited area drains. Concrete sidewalks immediately adjacent to the facility are in poor condition. There appears to be inadequate site lighting for vehicular and pedestrian night traffic. The water supply is provided from the campus distribution system and appears to be in poor condition. Fire water is provided from a campus fire water distribution system. The campus sanitary sewer system appears to be in poor condition. Storm water removal is provided by the campus storm water system and surface runoff to the adjacent streets. The heating distribution system includes hot water supply and hot water return piping to and from the boiler room. The piping is in poor condition; however, the boilers have been removed. The cooling distribution system included window air conditioning units that were removed several years ago. Priestly Jr. High was abandoned prior to Hurricane Katrina.

**SUBSTRUCTURE**

The building typically rests on concrete footings and foundation walls that are showing signs of settlement and damage. The building does not have a basement.

**SHELL**

The superstructure is concrete and wood beams with double wide brick walls. Floor construction is a combination of wood and metal pan with concrete fill. Roof construction is wood. The exterior enclosure is comprised of walls of double wide brick walls. Exterior windows are wood frame with operable lites. Exterior doors are solid core wood. Roofing is typically low-slope with built-up roofing and is in poor condition with unreported leaks. Entrances do not comply with ADA requirements.

**INTERIORS**

Interior construction partition wall types typically include painted concrete block, plaster, etc. Interior doors are generally solid core/hollow wood doors and frames. Interior fittings include chalk and tack boards, shelving and toilet partitions in poor condition. Toilet configurations and accessories are inadequate and appear to not comply with ADA requirements. Interior graphics and/or signage are inadequate and appear to not comply with ADA requirements. Stair construction includes wood risers and treads with wood finishes. The interior wall finishes are typically plaster and generally in poor condition. Floor finishes in common areas are typically vinyl composition tile. Floor finishes in assignable spaces are typically vinyl tile. Ceiling finishes in common areas are typically plaster that is in poor condition. Ceiling finishes in assignable areas are typically plaster that is in poor condition.

**SERVICES**

**Conveying:** The building does not include conveying equipment.

**Plumbing:** Fixtures are in poor condition. Domestic water distribution is galvanized steel with some copper and is in poor condition, with reports of the water main line being broken. The sanitary waste system is cast iron and is in poor condition. The rain water system is external with roof scuppers, gutters and downspouts in poor condition.

**HVAC:** Heating was provided by gas-fired boilers which were removed from the premises at an unknown date. Cooling was supplied by an unknown number of window units. The heating distribution system was a 2-pipe system connected to radiators and unit heaters. Fresh air was supplied by natural infiltration. Ceiling and/or wall-mounted exhaust fans are installed in most bathrooms, but ventilation is inadequate. Controls and instrumentation are primarily manual, with a few analog/mercury bulb thermostats, and are not centrally controlled by an energy management system.

**Fire Protection:** The building has a fire sprinkler system. Standpipes are not included within fire stairs. Fire extinguishers and cabinets are not distributed near fire exits and corridors.

**Orleans Parish Schools**

COMET4 Facility Report  
**Facility Executive Summary Report**

Report Date: 13 Aug 2008

**Electrical:** The electrical service is fed from pole-mounted transformers that deliver 120-240 volts, 1-phase, 3-wire power and 120/208 volts, 3-phase, 4-wire power to main panels. Power distribution wiring from branch panels is typically copper, 3-wire grounded and is inadequate. Lighting and branch wiring is typically 3-wire grounded serving recessed, surface-mounted and pendent-mounted fluorescent lighting fixtures. Illumination is generally inadequate throughout the school. Emergency power is not available. Emergency lighting apparently was not present in the school building. Exit signs were present at some exit doors and were typically illuminated.

**Communications and Security:** The fire alarm system consisted of audible annunciators in common spaces and appeared to not comply with ADA requirements. The system is activated by pull stations and is not centrally monitored. The system needs to be upgraded to comply with current code requirements. The telephone and data systems are separate and do not include dedicated closets or cabinets that are adequately secured and cooled. The building does not have a public address (PA) system. The building does not include an internal security system that is actuated by contact, infrared, optical or any combination of such devices and is not centrally monitored.

**Other Electrical Systems:** The building does not have an emergency generator. The building does not have a dedicated grounding system and does not have a lightning protection system.

**EQUIPMENT & FURNISHINGS**

The building does not include fixed food service, darkroom, library, theater and stage, audio-visual, detention, laboratory, medical or mortuary equipment. The building does include fixed casework furnishings that are in poor condition.

**SPECIAL CONSTRUCTION**

The building does not include special construction.

**COSTING**

The material list is based on typical constructions and RS Means cost estimating methods for the representative building type. Cost Estimates are directly derived from RS Means Commercial Composite Cost Data.

**Current Repair Cost:** \$7,070,586.00

**Replacement Cost:** \$8,805,202.00

**Deferred Maint Index:** 80.30%



31-Jan-2008



31-Jan-2008



31-Jan-2008

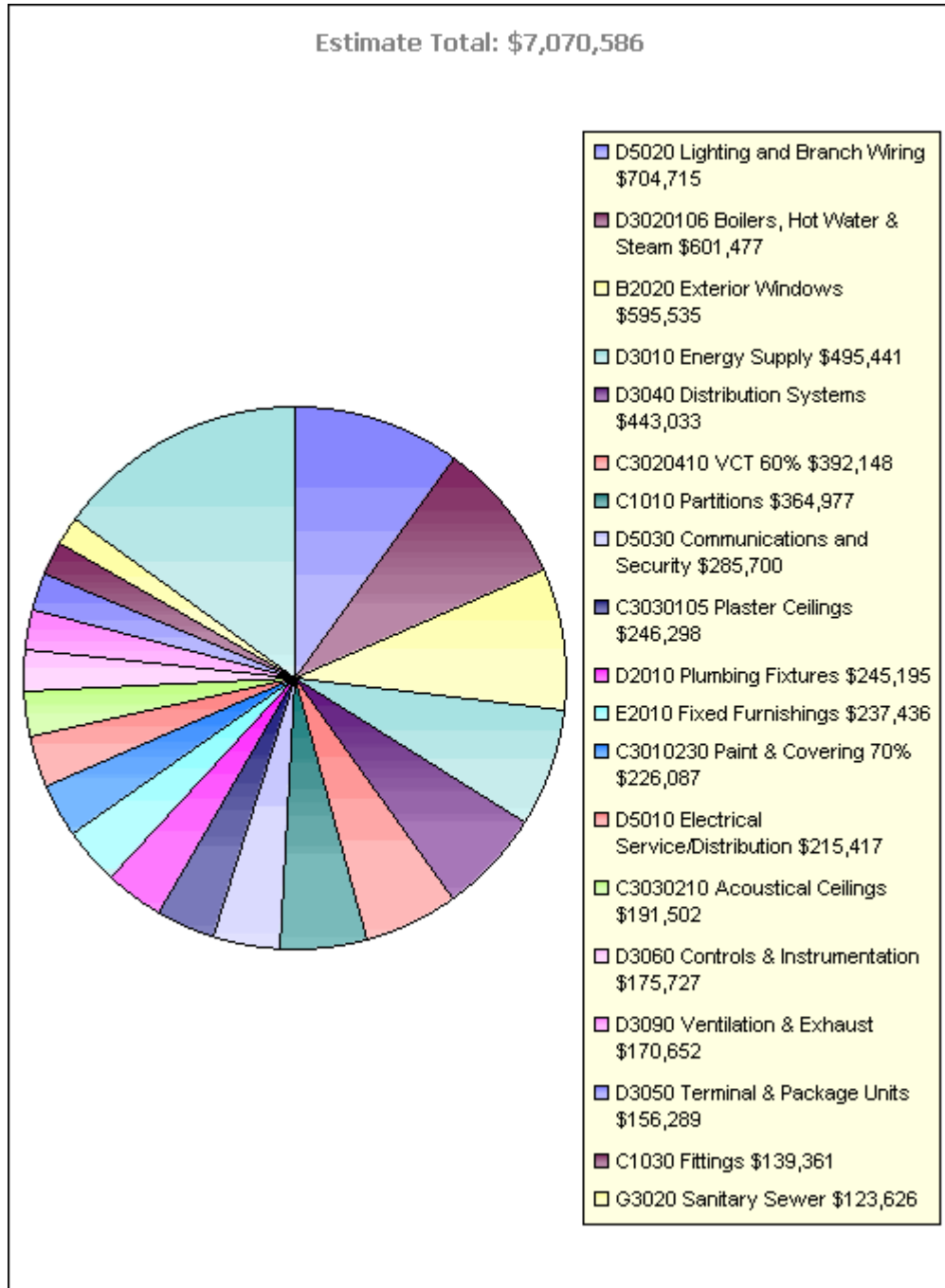


31-Jan-2008



31-Jan-2008

**Deficiency Estimate By Assembly**  
**OPSB Schools/999 Priestley**





Orleans Parish Schools

COMET4 Facility Report  
Facility Executive Summary Report

Report Date: 13 Aug 2008

Facility: \OPSB Schools\Priestley 999 \Building 1-Main

Attributes:

|                      |  |
|----------------------|--|
| <b>Building Type</b> | Main Building (Office / Admin / Classroom) |
| <b>Type School</b>   | OSPB                                       |

General Information:

|                    |                      |                         |      |
|--------------------|----------------------|-------------------------|------|
| <b>Function:</b>   | Middle / Junior High | <b>Year Built:</b>      | 1938 |
| <b>Gross Area:</b> | 32,834 S.F.          | <b>Last Renovation:</b> |      |

Facility Description:

Current Repair Cost: \$5,449,052.00

Replacement Cost: \$6,731,894.00

Deferred Maint Index: 80.94%



30-Jan-2008



30-Jan-2008



30-Jan-2008



30-Jan-2008



30-Jan-2008

## Orleans Parish Schools

COMET4 Facility Report  
Facility Executive Summary Report

Report Date: 10 Jul 2008

Facility: \OPSB Schools\Priestley 999 \Building 1-Main (continued)

## Renewal Schedule:

| Systems                         | 2008        | 2009 | 2010 | 2011 | 2012 | 2013      | 2014 | 2015 | 2016 | 2017 | 2018      |
|---------------------------------|-------------|------|------|------|------|-----------|------|------|------|------|-----------|
| Total                           | \$5,449,053 |      |      |      |      | \$262,097 |      |      |      |      | \$981,917 |
| Substructure                    |             |      |      |      |      |           |      |      |      |      |           |
| Foundations                     |             |      |      |      |      |           |      |      |      |      |           |
| Standard Foundations            |             |      |      |      |      |           |      |      |      |      |           |
| Shell                           | \$708,858   |      |      |      |      |           |      |      |      |      |           |
| Superstructure                  |             |      |      |      |      |           |      |      |      |      |           |
| Floor Construction              |             |      |      |      |      |           |      |      |      |      |           |
| Roof Construction               |             |      |      |      |      |           |      |      |      |      |           |
| Exterior Enclosure              | \$597,943   |      |      |      |      |           |      |      |      |      |           |
| Exterior Walls                  |             |      |      |      |      |           |      |      |      |      |           |
| Exterior Windows                | \$551,019   |      |      |      |      |           |      |      |      |      |           |
| Exterior Doors                  | \$46,924    |      |      |      |      |           |      |      |      |      |           |
| Roofing                         | \$110,915   |      |      |      |      |           |      |      |      |      |           |
| Roof Coverings                  | \$110,915   |      |      |      |      |           |      |      |      |      |           |
| Built-Up                        | \$110,915   |      |      |      |      |           |      |      |      |      |           |
| Interiors                       | \$1,623,332 |      |      |      |      | \$262,097 |      |      |      |      | \$458,629 |
| Interior Construction           | \$567,297   |      |      |      |      |           |      |      |      |      | \$154,787 |
| Partitions                      | \$364,977   |      |      |      |      |           |      |      |      |      |           |
| Interior Doors                  | \$87,144    |      |      |      |      |           |      |      |      |      |           |
| Fittings                        | \$115,176   |      |      |      |      |           |      |      |      |      | \$154,787 |
| Stairs                          |             |      |      |      |      |           |      |      |      |      |           |
| Stair Construction              |             |      |      |      |      |           |      |      |      |      |           |
| Interior Finishes               | \$1,056,035 |      |      |      |      | \$262,097 |      |      |      |      | \$303,842 |
| Wall Finishes                   | \$226,087   |      |      |      |      | \$262,097 |      |      |      |      | \$303,842 |
| Paint & Covering 70%            | \$226,087   |      |      |      |      | \$262,097 |      |      |      |      | \$303,842 |
| Floor Finishes                  | \$392,148   |      |      |      |      |           |      |      |      |      |           |
| VCT 60%                         | \$392,148   |      |      |      |      |           |      |      |      |      |           |
| Ceiling Finishes                | \$437,800   |      |      |      |      |           |      |      |      |      |           |
| Plaster Ceilings                | \$246,298   |      |      |      |      |           |      |      |      |      |           |
| Acoustical Ceilings             | \$191,502   |      |      |      |      |           |      |      |      |      |           |
| Services                        | \$2,916,980 |      |      |      |      |           |      |      |      |      | \$523,288 |
| Plumbing                        | \$285,778   |      |      |      |      |           |      |      |      |      | \$33,537  |
| Plumbing Fixtures               | \$193,179   |      |      |      |      |           |      |      |      |      |           |
| Domestic Water Distribution     | \$24,955    |      |      |      |      |           |      |      |      |      | \$33,537  |
| Rain Water Drainage             | \$20,720    |      |      |      |      |           |      |      |      |      |           |
| Sanitary Waste                  | \$46,924    |      |      |      |      |           |      |      |      |      |           |
| HVAC                            | \$1,732,339 |      |      |      |      |           |      |      |      |      | \$225,220 |
| Energy Supply                   | \$495,441   |      |      |      |      |           |      |      |      |      |           |
| Ventilation & Exhaust           | \$24,803    |      |      |      |      |           |      |      |      |      |           |
| Heat Generating Systems         | \$601,477   |      |      |      |      |           |      |      |      |      |           |
| Boilers, Hot Water & Steam      | \$601,477   |      |      |      |      |           |      |      |      |      |           |
| Distribution Systems            | \$443,033   |      |      |      |      |           |      |      |      |      |           |
| Controls & Instrumentation      | \$167,585   |      |      |      |      |           |      |      |      |      | \$225,220 |
| Fire Protection                 | \$22,548    |      |      |      |      |           |      |      |      |      |           |
| Sprinklers                      | \$22,548    |      |      |      |      |           |      |      |      |      |           |
| Electrical                      | \$876,315   |      |      |      |      |           |      |      |      |      | \$264,531 |
| Electrical Service/Distribution | \$78,003    |      |      |      |      |           |      |      |      |      |           |
| Lighting and Branch Wiring      | \$579,538   |      |      |      |      |           |      |      |      |      |           |
| Communications and Security     | \$196,836   |      |      |      |      |           |      |      |      |      | \$264,531 |
| Other Electrical Systems        | \$21,938    |      |      |      |      |           |      |      |      |      |           |
| Equipment & Furnishings         | \$199,883   |      |      |      |      |           |      |      |      |      |           |
| Furnishings                     | \$199,883   |      |      |      |      |           |      |      |      |      |           |
| Fixed Furnishings               | \$199,883   |      |      |      |      |           |      |      |      |      |           |

**Orleans Parish Schools**

COMET4 Facility Report  
**Facility Executive Summary Report**

Report Date: 13 Aug 2008

**Facility:** \OPSB Schools\Priestley 999 \Building 2-Gymnasium

**Attributes:**

**Building Type** Gym  
**Type School** OSPB

**General Information:**

**Function:** Middle / Junior High      **Year Built:** 1955  
**Gross Area:** 6,548 S.F.      **Last Renovation:**

**Facility Description:**

**Current Repair Cost:** \$943,019.00

**Replacement Cost:** \$1,419,116.00

**Deferred Maint Index:** 66.45%



31-Jan-2008



31-Jan-2008



31-Jan-2008



31-Jan-2008

## Orleans Parish Schools

COMET4 Facility Report  
Facility Executive Summary Report

Report Date: 10 Jul 2008

Facility: \OPSB Schools\Priestley 999 \Building 2-Gymnasium (continued)

## Renewal Schedule:

| Systems                         | 2008      | 2009 | 2010 | 2011 | 2012 | 2013     | 2014 | 2015     | 2016 | 2017 | 2018      |
|---------------------------------|-----------|------|------|------|------|----------|------|----------|------|------|-----------|
| Total                           | \$943,019 |      |      |      |      | \$28,037 |      | \$59,518 |      |      | \$188,708 |
| Substructure                    |           |      |      |      |      |          |      |          |      |      |           |
| Foundations                     |           |      |      |      |      |          |      |          |      |      |           |
| Foundations                     |           |      |      |      |      |          |      |          |      |      |           |
| Shell                           | \$92,789  |      |      |      |      |          |      |          |      |      |           |
| Superstructure                  |           |      |      |      |      |          |      |          |      |      |           |
| Roof Construction               |           |      |      |      |      |          |      |          |      |      |           |
| Exterior Enclosure              | \$44,517  |      |      |      |      |          |      |          |      |      |           |
| Exterior Walls                  |           |      |      |      |      |          |      |          |      |      |           |
| Exterior Windows                | \$44,517  |      |      |      |      |          |      |          |      |      |           |
| Exterior Doors                  |           |      |      |      |      |          |      |          |      |      |           |
| Roofing                         | \$48,272  |      |      |      |      |          |      |          |      |      |           |
| Roof Coverings                  | \$48,272  |      |      |      |      |          |      |          |      |      |           |
| Interiors                       | \$254,389 |      |      |      |      | \$28,037 |      | \$59,518 |      |      | \$131,674 |
| Interior Construction           | \$48,114  |      |      |      |      | \$28,037 |      |          |      |      | \$64,661  |
| Partitions                      |           |      |      |      |      |          |      |          |      |      |           |
| Interior Doors                  | \$23,929  |      |      |      |      |          |      |          |      |      | \$32,159  |
| Fittings                        | \$24,185  |      |      |      |      | \$28,037 |      |          |      |      | \$32,502  |
| Interior Finishes               | \$206,275 |      |      |      |      |          |      | \$59,518 |      |      | \$67,013  |
| Wall Finishes                   | \$48,394  |      |      |      |      |          |      | \$59,518 |      |      |           |
| Floor Finishes                  | \$108,017 |      |      |      |      |          |      |          |      |      |           |
| Ceiling Finishes                | \$49,864  |      |      |      |      |          |      |          |      |      | \$67,013  |
| Services                        | \$558,288 |      |      |      |      |          |      |          |      |      | \$57,034  |
| Plumbing                        | \$76,041  |      |      |      |      |          |      |          |      |      | \$10,976  |
| Plumbing Fixtures               | \$52,015  |      |      |      |      |          |      |          |      |      |           |
| Domestic Water Distribution     | \$8,167   |      |      |      |      |          |      |          |      |      | \$10,976  |
| Rain Water Drainage             | \$5,833   |      |      |      |      |          |      |          |      |      |           |
| Sanitary Waste                  | \$10,026  |      |      |      |      |          |      |          |      |      |           |
| HVAC                            | \$310,281 |      |      |      |      |          |      |          |      |      | \$10,943  |
| Terminal & Package Units        | \$156,289 |      |      |      |      |          |      |          |      |      |           |
| Ventilation & Exhaust           | \$145,849 |      |      |      |      |          |      |          |      |      |           |
| Controls & Instrumentation      | \$8,143   |      |      |      |      |          |      |          |      |      | \$10,943  |
| Electrical                      | \$171,966 |      |      |      |      |          |      |          |      |      | \$35,115  |
| Electrical Service/Distribution | \$19,323  |      |      |      |      |          |      |          |      |      |           |
| Lighting and Branch Wiring      | \$125,177 |      |      |      |      |          |      |          |      |      |           |
| Communications and Security     | \$26,129  |      |      |      |      |          |      |          |      |      | \$35,115  |
| Other Electrical Systems        | \$1,337   |      |      |      |      |          |      |          |      |      |           |
| Equipment & Furnishings         | \$37,553  |      |      |      |      |          |      |          |      |      |           |
| Furnishings                     | \$37,553  |      |      |      |      |          |      |          |      |      |           |
| Fixed Furnishings               | \$37,553  |      |      |      |      |          |      |          |      |      |           |



**Orleans Parish Schools**

COMET4 Facility Report  
**Facility Executive Summary Report**

Report Date: 13 Aug 2008

**Facility:** \OPSB Schools\Priestley 999 \Site

**Attributes:**  
\*\*\*None\*\*\*

**General Information:**

|                    |                      |                         |      |
|--------------------|----------------------|-------------------------|------|
| <b>Function:</b>   | Middle / Junior High | <b>Year Built:</b>      | 1938 |
| <b>Gross Area:</b> | 90,378 S.F.          | <b>Last Renovation:</b> |      |

**Facility Description:**

**SITE**  
 Surface parking is available on site. There is an asphalt area which can be used for parking but none out of approximately 15-20 potential spaces are handicap spaces and path to building entrances appears to not comply with ADA requirements. Parking striping does not exist. Landscaping is mature, is in fair condition and is not irrigated. Drainage is generally inadequate and is handled by surface discharge and limited area drains. Concrete sidewalks immediately adjacent to the facility are in poor condition. There appears to be inadequate site lighting for vehicular and pedestrian night traffic. The water supply is provided from the campus distribution system and appears to be in poor condition. Fire water is provided from a campus fire water distribution system. The campus sanitary sewer system appears to be in poor condition. Storm water removal is provided by the campus storm water system and surface runoff to the adjacent streets. The heating distribution system includes hot water supply and hot water return piping to and from the boiler room. The piping is in poor condition; however, the boilers have been removed. The cooling distribution system included window air conditioning units that were removed several years ago. Priestly Jr. High was abandoned prior to Hurricane Katrina.

**Current Repair Cost:** \$678,515.00

**Replacement Cost:** \$654,192.00

**Deferred Maint Index:** 103.72%



19-Feb-2008



19-Feb-2008



19-Feb-2008



19-Feb-2008



19-Feb-2008

**Orleans Parish Schools**COMET4 Facility Report  
**Facility Executive Summary Report**

Report Date: 10 Jul 2008

**Facility:** \OPSB Schools\Priestley 999 \Site (continued)**Renewal Schedule:**

| Systems                         | 2008      | 2009 | 2010 | 2011 | 2012 | 2013 | 2014 | 2015 | 2016 | 2017 | 2018     |
|---------------------------------|-----------|------|------|------|------|------|------|------|------|------|----------|
| Total                           | \$678,514 |      |      |      |      |      |      |      |      |      | \$84,311 |
| Services                        | \$180,825 |      |      |      |      |      |      |      |      |      | \$84,311 |
| Electrical                      | \$180,825 |      |      |      |      |      |      |      |      |      | \$84,311 |
| Electrical Service/Distribution | \$118,090 |      |      |      |      |      |      |      |      |      |          |
| Communications and Security     | \$62,735  |      |      |      |      |      |      |      |      |      | \$84,311 |
| Building Sitework               | \$497,689 |      |      |      |      |      |      |      |      |      |          |
| Site Preparation                |           |      |      |      |      |      |      |      |      |      |          |
| Site Earthwork                  |           |      |      |      |      |      |      |      |      |      |          |
| Site Improvements               | \$185,690 |      |      |      |      |      |      |      |      |      |          |
| Parking Lots                    | \$86,722  |      |      |      |      |      |      |      |      |      |          |
| Pedestrian Paving               | \$18,452  |      |      |      |      |      |      |      |      |      |          |
| Site Development                | \$27,677  |      |      |      |      |      |      |      |      |      |          |
| Landscaping                     | \$52,839  |      |      |      |      |      |      |      |      |      |          |
| Site Mechanical Utilities       | \$199,277 |      |      |      |      |      |      |      |      |      |          |
| Water Supply                    | \$25,832  |      |      |      |      |      |      |      |      |      |          |
| Sanitary Sewer                  | \$123,626 |      |      |      |      |      |      |      |      |      |          |
| Storm Sewer                     | \$49,819  |      |      |      |      |      |      |      |      |      |          |
| Site Electrical Utilities       | \$112,722 |      |      |      |      |      |      |      |      |      |          |
| Site Lighting                   | \$112,722 |      |      |      |      |      |      |      |      |      |          |

## Space Inventory Report

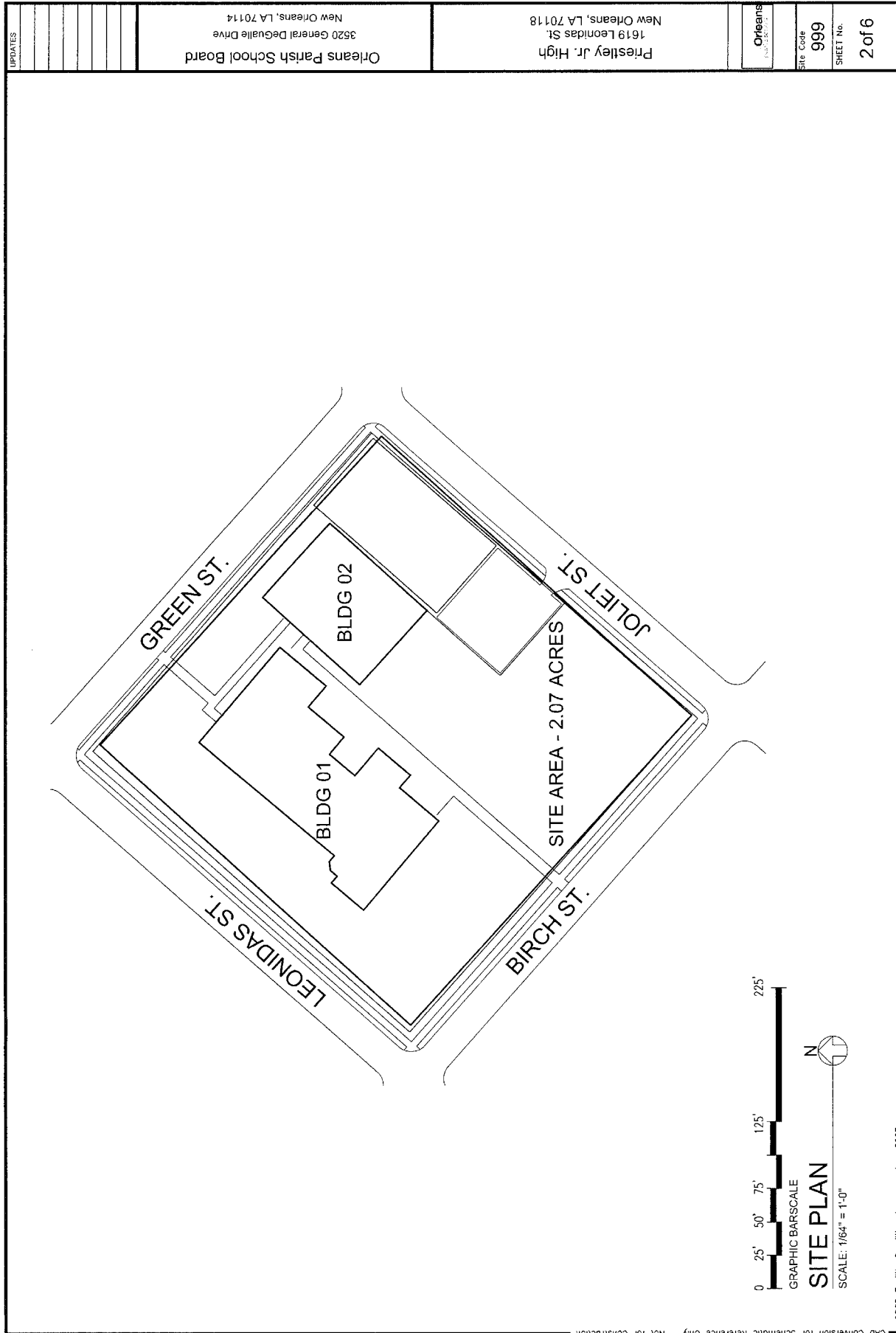
**999** Priestly Junior High**Permanent Buildings**

| Building Number and Name | Year | Floors             | Area (SF)     |
|--------------------------|------|--------------------|---------------|
| 01 01_Main Building      | 1945 | 3                  | 32,834        |
| 02 02_Gymnasium          | 1955 | 1                  | 6,548         |
| <b>2 Total Buildings</b> |      | <b>Total Area:</b> | <b>39,383</b> |

**Permanent Area Analysis**

| Space Type             | Area (SF)         | # Rooms       |
|------------------------|-------------------|---------------|
| Classrooms             | 12,058            | 19            |
| Media Center           | 1,124             | 1             |
| Physical Education     | 8,994             | 8             |
| Student Dining         | 4,090             | 8             |
| Administration         | 3,578             | 21            |
| Assigned Storage       | 224               | 4             |
| Public Restrooms       | 1,260             | 6             |
| Building Support       | 1,273             | 13            |
| Horizontal Circulation | 4,822             | 11            |
| Laboratory             | 992               | 3             |
| Open Space             | 68                | 1             |
|                        | <b>Total Area</b> | <b>38,483</b> |
|                        |                   | <b>95</b>     |

*Note: The area difference between the Permanent Buildings total and the Permanent Area Analysis total is associated with walls and structure not measured in the area analysis.*



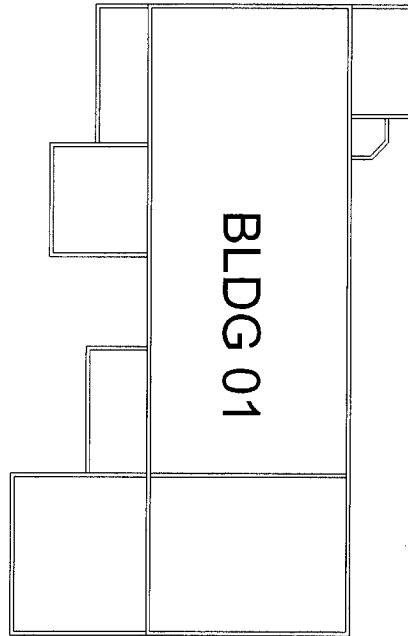
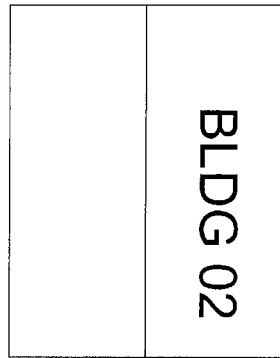
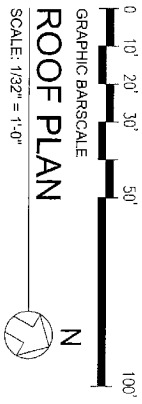
CAD Conversion for Schematic Reference Only - Not for Construction

OPSB Facility Condition Assessment -- 2007



CAD Conversion for Schematic Reference Only - Not for Construction

OPSB Facility Condition Assessment - 2007

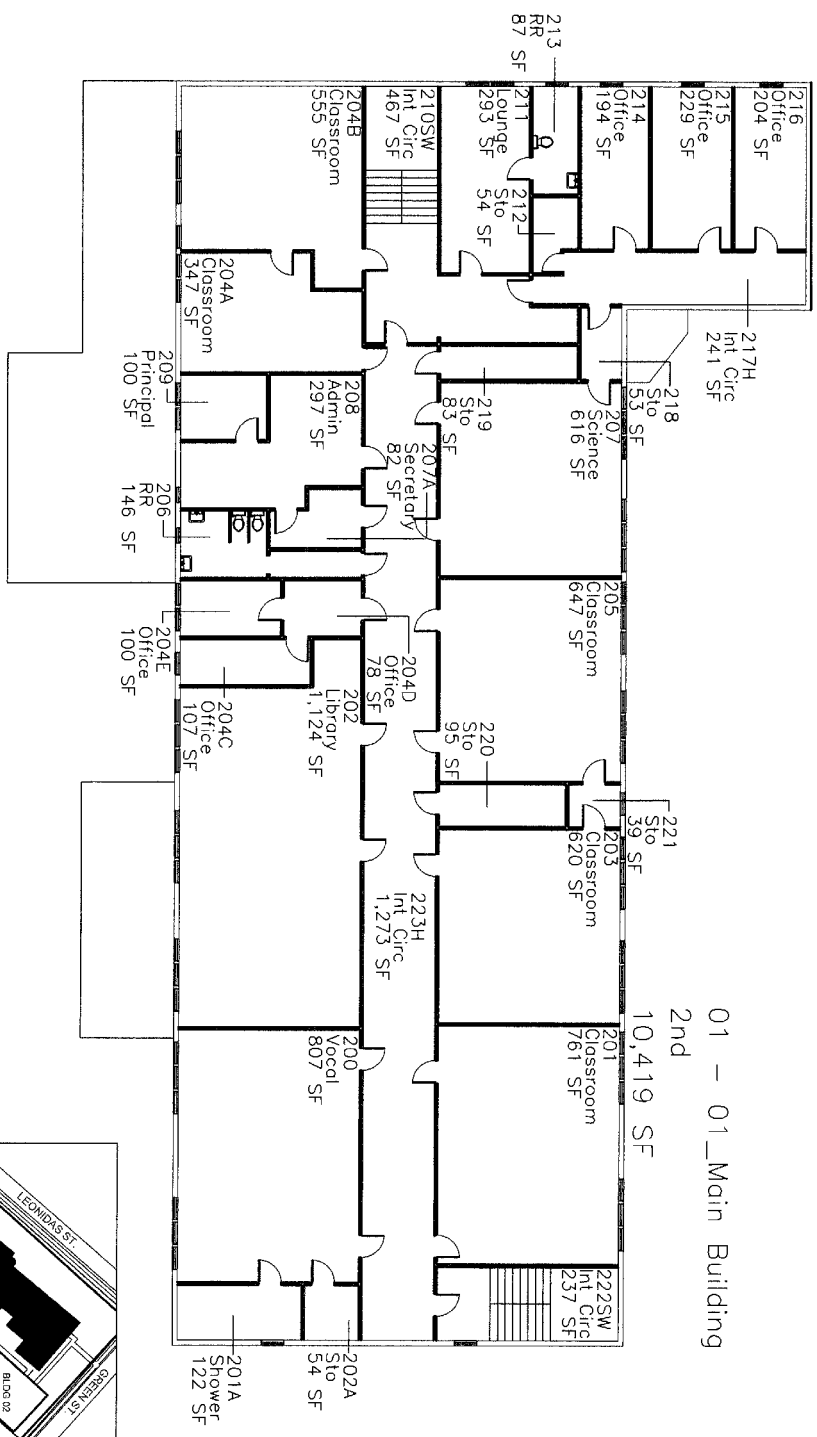
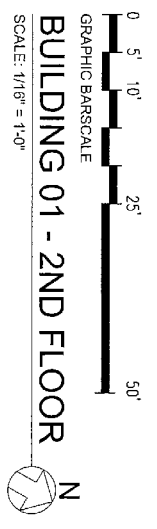


|        |           |     |           |     |                             |  |   |         |
|--------|-----------|-----|-----------|-----|-----------------------------|--|---|---------|
| 3 of 6 | SHEET NO. | 999 | SITE CODE | 999 | Orleans Parish School Board | Priestley Jr. High<br>1619 Leonidas St.<br>New Orleans, LA 70118 | Orleans Parish School Board<br>3520 General DeGualle Drive<br>New Orleans, LA 70114 | UPDATES |
|--------|-----------|-----|-----------|-----|-----------------------------|--|---|---------|

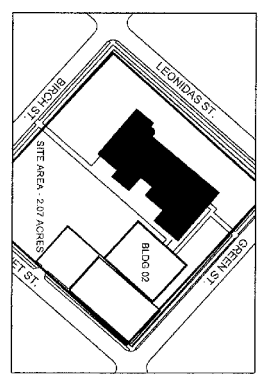


CAD Conversion for Schematic Reference Only - Not for Construction

0158 Facility Condition Assessment - 2007



01 - 01\_Main Building  
2nd  
10,419 SF



**KEY PLAN**  
NOT TO SCALE

|                                   |                         |   |  |
|-----------------------------------|-------------------------|---|--|
| SHEET NO.<br><b>999</b><br>5 of 6 | Site Code<br><b>999</b> | Orleans Parish School Board<br>3520 General DeGualle Drive<br>New Orleans, LA 70114 | Priestley Jr. High<br>1619 Leonidas St.<br>New Orleans, LA 70118 |
|-----------------------------------|-------------------------|---|--|





# Estimate Recap

444 Red Maple Dr  
Mandeville LA, LA 70002  
Phone: 504888-9433 Fax: 504888-6997

Estimate File: Priestley School Existing Building.est - Priestley School existing Building, New Orleans

Estimator:  
Primary Project Qty: 31000 SF  
Estimate UM: Imperial

Sort Sequences: 1. Divisions  
2. Not Used  
3. Not Used  
4. Not Used

7:41:38AM

5/3/2012

Report includes Taxes & Insurance. Indirect costs are Spread.

| Description                     | Labor \$ | Material \$ | Equipmt \$ | Sub \$             | Temp Matl \$ | Equipmt Rntl \$ | Other Costs \$ | Item Total \$      |
|---------------------------------|----------|-------------|------------|--------------------|--------------|-----------------|----------------|--------------------|
| General requirements            |          |             |            | \$434,671          |              |                 |                | \$434,671          |
| Site work & demolition          |          |             |            | \$380,059          |              |                 |                | \$380,059          |
| Concrete                        |          |             |            | \$155,478          |              |                 |                | \$155,478          |
| Masonry                         |          |             |            | \$276,406          |              |                 |                | \$276,406          |
| Metals                          |          |             |            | \$103,652          |              |                 |                | \$103,652          |
| Wood and plastics               |          |             |            | \$587,363          |              |                 |                | \$587,363          |
| Thermal and moisture protection |          |             |            | \$526,621          |              |                 |                | \$526,621          |
| Doors and windows               |          |             |            | \$656,465          |              |                 |                | \$656,465          |
| Finishes                        |          |             |            | \$1,036,523        |              |                 |                | \$1,036,523        |
| Specialties                     |          |             |            | \$190,029          |              |                 |                | \$190,029          |
| Equipment                       |          |             |            | \$103,652          |              |                 |                | \$103,652          |
| Furnishings                     |          |             |            | \$103,652          |              |                 |                | \$103,652          |
| Special construction            |          |             |            | \$69,102           |              |                 |                | \$69,102           |
| Conveying systems               |          |             |            | \$112,290          |              |                 |                | \$112,290          |
| Mechanical                      |          |             |            | \$1,572,060        |              |                 |                | \$1,572,060        |
| Electrical                      |          |             |            | \$760,117          |              |                 |                | \$760,117          |
| <b>ESTIMATE TOTALS</b>          |          |             |            | <b>\$7,068,141</b> |              |                 |                | <b>\$7,068,141</b> |

All Items S:\Program files\MC2 Software\datafiles\mc2pj.std

| <b>Estimate Summary</b>  |        | <b>Bid date</b>  | <b>5/3/2012</b> |                  |                    |                   |                     |              |               |
|--|--------|------------------|-----------------|------------------|--------------------|-------------------|---------------------|--------------|---------------|
| <b>Priestley School existing Building</b>                          |        | <b>31,000 SF</b> |                 |                  |                    |                   |                     |              |               |
| Pro-Serv estimating LLC<br>444 Red Maple Dr<br>Mandeville LA<br>LA |        |                  |                 |                  |                    |                   |                     |              |               |
| <b>Direct costs</b>  |        | <b>Labor</b>     | <b>Material</b> | <b>Equipment</b> | <b>Subcontract</b> | <b>Temp. Matl</b> | <b>Equip. Renta</b> | <b>Other</b> | <b>Totals</b> |
|  |        | <b>%</b>         |                 |                  |                    |                   |                     |              |               |
| Base labor   |        |                  | \$0             | \$0              | \$6,341,750        | \$0               | \$0                 | \$0          | \$6,341,750   |
| Labor burden   | 50.00% |                  | \$0             | \$0              |                    |                   |                     |              | \$0           |
| Labor fringes  |        |                  | \$0             |                  |                    |                   |                     |              | \$0           |
| Labor manhours   |        |                  | 0               |                  |                    |                   |                     |              | \$0           |
| Material sales tax   | 9.00%  |                  | \$0             | \$0              |                    |                   |                     |              | \$0           |
| Equipment Surcharge  | 0.00%  |                  | \$0             | \$0              |                    |                   |                     |              | \$0           |
| Temporary material markup  | 0.00%  |                  |                 |                  |                    |                   | \$0                 |              | \$0           |
| Equipment rental markup  | 0.00%  |                  |                 |                  |                    |                   |                     | \$0          | \$0           |
| Other markup   | 0.00%  |                  |                 |                  |                    |                   |                     | \$0          | \$0           |
| <b>Gross cost</b>  |        |                  | \$0             | \$0              | \$6,341,750        | \$0               | \$0                 | \$0          | \$6,341,750   |
| General Liability Ins.   | 0.90%  |                  |                 |                  |                    |                   |                     |              | \$63,613      |
| Builder's risk insurance   | 0.65%  |                  |                 |                  |                    |                   |                     |              | \$45,943      |
| <b>Overall</b>   |        |                  |                 |                  |                    |                   |                     |              |               |
| Overhead   | 0.00%  |                  | \$0             | \$0              | \$0                | \$0               | \$0                 | \$0          | \$0           |
| Profit   | 8.00%  |                  | \$0             | \$0              | \$0                | \$0               | \$0                 | \$0          | \$0           |
|  |        |                  | \$507,340       | \$0              | \$0                | \$0               | \$0                 | \$0          | \$507,340     |
| Subcontract bond   | 0.00%  |                  |                 |                  |                    |                   |                     |              | \$0           |
| Performance bond   |        |                  | \$55,777        |                  |                    |                   |                     |              | \$55,777      |
| Owner's Protective   | 0.10%  |                  |                 |                  |                    |                   |                     |              | \$7,068       |
| New Orleans B.P.   | 0.66%  |                  |                 |                  |                    |                   |                     |              | \$46,650      |
| <b>Total</b>   |        |                  |                 |                  |                    |                   |                     |              | \$7,068,141   |
| Cut/Add  |        |                  |                 |                  |                    |                   |                     |              | \$0           |
| <b>Project total</b>   |        |                  |                 |                  |                    |                   |                     |              | \$7,068,141   |

Pro-Serv estimating LLC  
 444 Red Maple Dr  
 Mandeville LA, LA 70002  
 Phone: 504888-9433  
 Fax: 504888-6997

# Estimate Detail

Estimate File: Priestley School Existing Building.est - Priestley School existing Building, New Orleans

Estimator:  
 Primary Project Qty: 31,000 SF  
 Estimate UM: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

Report DOES NOT include Taxes & Insurance or Indirect Costs. 5/3/2012

7:41:16AM

| Item Code                                 | Description                             | Quantity       | UNIT COSTS |             |            | TOTAL COSTS |          |                  | Total Unit \$ | Item Total \$    |
|---|---|----------------|------------|-------------|------------|-------------|----------|------------------|---------------|------------------|
|   |   |                | Labor \$   | Material \$ | Sub \$     | Equipt \$   | Labor \$ | Material \$      |               |                  |
| <b>01 General requirements</b>            |   |                |            |             |            |             |          |                  |               |                  |
| 1310.110                                  | General Conditions                      | 6.00 MO        | 0.00       | 0.00        | 40,000.00  | 0.00        | 0.00     | 240,000.00       | 0.00          | 240,000.00       |
| 1900.100                                  | Project contingency                     | 1.00 LS        | 0.00       | 0.00        | 150,000.00 | 0.00        | 0.00     | 150,000.00       | 0.00          | 150,000.00       |
|   | <b>Total General requirements</b>       |                |            |             |            |             |          | <b>\$390,000</b> |               | <b>\$390,000</b> |
| <b>02 Site work &amp; demolition</b>      |   |                |            |             |            |             |          |                  |               |                  |
| 2000.000                                  | Demolition (Selective)                  | 31,000.00 SQFT | 0.00       | 0.00        | 8.00       | 0.00        | 0.00     | 248,000.00       | 8.00          | 248,000.00       |
| 2200.000                                  | Site Package                            | 31,000.00 SQFT | 0.00       | 0.00        | 3.00       | 0.00        | 0.00     | 93,000.00        | 3.00          | 93,000.00        |
|   | <b>Total Site work &amp; demolition</b> |                |            |             |            |             |          | <b>\$341,000</b> |               | <b>\$341,000</b> |
| <b>03 Concrete</b>                        |   |                |            |             |            |             |          |                  |               |                  |
| 3000.000                                  | Concrete                                | 31,000.00 SQFT | 0.00       | 0.00        | 4.50       | 0.00        | 0.00     | 139,500.00       | 4.50          | 139,500.00       |
|   | <b>Total Concrete</b>                   |                |            |             |            |             |          | <b>\$139,500</b> |               | <b>\$139,500</b> |
| <b>04 Masonry</b>                         |   |                |            |             |            |             |          |                  |               |                  |
| 4200.000                                  | Masonry restorations                    | 31,000.00 SQFT | 0.00       | 0.00        | 8.00       | 0.00        | 0.00     | 248,000.00       | 8.00          | 248,000.00       |
|   | <b>Total Masonry</b>                    |                |            |             |            |             |          | <b>\$248,000</b> |               | <b>\$248,000</b> |
| <b>05 Metals</b>                          |   |                |            |             |            |             |          |                  |               |                  |
| 5000.000                                  | Structural (Misc)                       | 31,000.00 SQFT | 0.00       | 0.00        | 3.00       | 0.00        | 0.00     | 93,000.00        | 3.00          | 93,000.00        |
|   | <b>Total Metals</b>                     |                |            |             |            |             |          | <b>\$93,000</b>  |               | <b>\$93,000</b>  |
| <b>06 Wood and plastics</b>               |   |                |            |             |            |             |          |                  |               |                  |
| 6200.000                                  | Rough Carpentry (wood frame)            | 31,000.00 SQFT | 0.00       | 0.00        | 10.00      | 0.00        | 0.00     | 310,000.00       | 10.00         | 310,000.00       |
| 6400.000                                  | Finish carpentry                        | 31,000.00 SQFT | 0.00       | 0.00        | 7.00       | 0.00        | 0.00     | 217,000.00       | 7.00          | 217,000.00       |
|   | <b>Total Wood and plastics</b>          |                |            |             |            |             |          | <b>\$527,000</b> |               | <b>\$527,000</b> |
| <b>07 Thermal and moisture protection</b> |   |                |            |             |            |             |          |                  |               |                  |
| 7120.000                                  | Waterproofing                           | 31,000.00 SQFT | 0.00       | 0.00        | 7.00       | 0.00        | 0.00     | 217,000.00       | 7.00          | 217,000.00       |
| 7210.000                                  | Insulating package                      | 31,000.00 SQFT | 0.00       | 0.00        | 3.00       | 0.00        | 0.00     | 93,000.00        | 3.00          | 93,000.00        |
| 7520.000                                  | Roofing (modified bit)                  | 12,500.00 SQFT | 0.00       | 0.00        | 13.00      | 0.00        | 0.00     | 162,500.00       | 13.00         | 162,500.00       |

Estimator:  
 Primary Project Qty: 31000 SF  
 Estimate U/M: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

| Estimate File: Priestley School Existing Building.est - Priestley School existing Building |                       |                |            |             |        |             |             |        |            |                  |               |
|--|-----------------------|----------------|------------|-------------|--------|-------------|-------------|--------|------------|------------------|---------------|
| Report DOES NOT include Taxes & Insurance or Indirect Costs.                               |                       |                |            |             |        |             |             |        |            |                  | 5/3/2012      |
| Item Code  | Description           | Quantity       | UNIT COSTS |             |        | TOTAL COSTS |             |        | Equipmt \$ | Total Unit \$    | Item Total \$ |
|  |                       |                | Labor \$   | Material \$ | Sub \$ | Labor \$    | Material \$ | Sub \$ |            |                  |               |
| <b>Total Thermal and moisture protection</b>   |                       |                |            |             |        |             |             |        |            |                  |               |
| <b>08 Doors and windows</b>  |                       |                |            |             |        |             |             |        |            |                  |               |
| 8000.000   | Doors Frames Hardware | 31,000.00 SQFT | 0.00       | 4.00        | 4.00   | \$0.00      | \$0.00      |        | 4.00       | 124,000          |               |
| 8800.000   | Glass & Glazing       | 31,000.00 SQFT | 0.00       | 15.00       | 15.00  | \$0.00      | \$0.00      |        | 15.00      | 465,000          |               |
| <b>Total Doors and windows</b>   |                       |                |            |             |        |             |             |        |            | <b>\$589,000</b> |               |
| <b>09 Finishes</b>   |                       |                |            |             |        |             |             |        |            |                  |               |
| 9250.000   | Drywall Package       | 31,000.00 SQFT | 0.00       | 8.00        | 8.00   | \$0.00      | \$0.00      |        | 8.00       | 248,000          |               |
| 9300.000   | Tile package          | 31,000.00 SQFT | 0.00       | 3.00        | 3.00   | \$0.00      | \$0.00      |        | 3.00       | 93,000           |               |
| 9510.000   | Acoustics             | 31,000.00 SQFT | 0.00       | 4.00        | 4.00   | \$0.00      | \$0.00      |        | 4.00       | 124,000          |               |
| 9600.000   | Flooring package      | 31,000.00 SQFT | 0.00       | 10.00       | 10.00  | \$0.00      | \$0.00      |        | 10.00      | 310,000          |               |
| 9900.000   | Paint package         | 31,000.00 SQFT | 0.00       | 5.00        | 5.00   | \$0.00      | \$0.00      |        | 5.00       | 155,000          |               |
| <b>Total Finishes</b>  |                       |                |            |             |        |             |             |        |            | <b>\$930,000</b> |               |
| <b>10 Specialties</b>  |                       |                |            |             |        |             |             |        |            |                  |               |
| 10000.000  | Specialties package   | 31,000.00 SQFT | 0.00       | 5.50        | 5.50   | \$0.00      | \$0.00      |        | 5.50       | 170,500          |               |
| <b>Total Specialties</b>   |                       |                |            |             |        |             |             |        |            | <b>\$170,500</b> |               |
| <b>11 Equipment</b>  |                       |                |            |             |        |             |             |        |            |                  |               |
| 11000.000  | Equipment Package     | 31,000.00 SQFT | 0.00       | 3.00        | 3.00   | \$0.00      | \$0.00      |        | 3.00       | 93,000           |               |
| <b>Total Equipment</b>   |                       |                |            |             |        |             |             |        |            | <b>\$93,000</b>  |               |
| <b>12 Furnishings</b>  |                       |                |            |             |        |             |             |        |            |                  |               |
| 12000.000  | Furnishing package    | 31,000.00 SQFT | 0.00       | 3.00        | 3.00   | \$0.00      | \$0.00      |        | 3.00       | 93,000           |               |
| <b>Total Furnishings</b>   |                       |                |            |             |        |             |             |        |            | <b>\$93,000</b>  |               |
| <b>13 Special construction</b>   |                       |                |            |             |        |             |             |        |            |                  |               |
| 13000.000  | Special construction  | 31,000.00 SQFT | 0.00       | 2.00        | 2.00   | \$0.00      | \$0.00      |        | 2.00       | 62,000           |               |
| <b>Total Special construction</b>  |                       |                |            |             |        |             |             |        |            | <b>\$62,000</b>  |               |
| <b>14 Conveying systems</b>  |                       |                |            |             |        |             |             |        |            |                  |               |
| 14200.000  | Elevator Package      | 31,000.00 SQFT | 0.00       | 3.25        | 3.25   | \$0.00      | \$0.00      |        | 3.25       | 100,750          |               |
| <b>Total Conveying systems</b>   |                       |                |            |             |        |             |             |        |            | <b>\$100,750</b> |               |
| <b>15 Mechanical</b>   |                       |                |            |             |        |             |             |        |            |                  |               |
| 15300.000  | Fire Protection       | 31,000.00 SQFT | 0.00       | 3.50        | 3.50   | \$0.00      | \$0.00      |        | 3.50       | 108,500          |               |
| 15400.000  | Plumbing Package      | 31,000.00 SQFT | 0.00       | 8.00        | 8.00   | \$0.00      | \$0.00      |        | 8.00       | 248,000          |               |







# Estimate Recap

Pro-Serv estimating LLC  
 444 Red Maple Dr  
 Mandeville LA, LA 70002  
 Phone: 504888-9433 Fax: 504888-6997

Estimate File: Priestley School Existing Gym.est - Priestley School existing Building, New Orleans

Estimator:  
 Primary Project Qty: 6750 SF  
 Estimate U/M: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

Report includes Taxes & Insurance. Indirect costs are Spread.

10:57:36AM

5/4/2012

| Description                            | Labor \$ | Material \$ | Equip \$ | Sub \$      | Temp Matl \$ | Equip Rntl \$ | Other Costs \$ | Item Total \$ |
|--|----------|-------------|----------|-------------|--------------|---------------|----------------|---------------|
| <b>General requirements</b>            |          |             |          | \$222,363   |              |               |                | \$222,363     |
| <b>Sitework</b>                        |          |             |          | \$29,287    |              |               |                | \$29,287      |
| <b>Concrete</b>                        |          |             |          | \$51,252    |              |               |                | \$51,252      |
| <b>Masonry</b>                         |          |             |          | \$43,930    |              |               |                | \$43,930      |
| <b>Metals</b>                          |          |             |          | \$21,965    |              |               |                | \$21,965      |
| <b>Wood and plastics</b>               |          |             |          | \$21,965    |              |               |                | \$21,965      |
| <b>Thermal and moisture protection</b> |          |             |          | \$117,147   |              |               |                | \$117,147     |
| <b>Doors and windows</b>               |          |             |          | \$36,608    |              |               |                | \$36,608      |
| <b>Finishes</b>                        |          |             |          | \$234,294   |              |               |                | \$234,294     |
| <b>Specialties</b>                     |          |             |          | \$18,304    |              |               |                | \$18,304      |
| <b>Equipment</b>                       |          |             |          | \$36,608    |              |               |                | \$36,608      |
| <b>Furnishings</b>                     |          |             |          | \$43,930    |              |               |                | \$43,930      |
| <b>Special construction</b>            |          |             |          | \$14,643    |              |               |                | \$14,643      |
| <b>Mechanical</b>                      |          |             |          | \$245,277   |              |               |                | \$245,277     |
| <b>Electrical</b>                      |          |             |          | \$117,147   |              |               |                | \$117,147     |
| <b>ESTIMATE TOTALS</b>                 |          |             |          | \$1,254,722 |              |               |                | \$1,254,722   |

| Estimate Summary                   |          | Bid date |          | 5/4/2012  |             |                       |       |             |
|------------------------------------|----------|----------|----------|-----------|-------------|-----------------------|-------|-------------|
| Priestley School existing Building |          | 6,750 SF |          |           |             |                       |       |             |
| Pro-Serv estimating LLC            |          |          |          |           |             |                       |       |             |
| 444 Red Maple Dr.                  |          |          |          |           |             |                       |       |             |
| Mandeville LA                      |          |          |          |           |             |                       |       |             |
| LA                                 |          |          |          |           |             |                       |       |             |
| Direct costs                       | %        | Labor    | Material | Equipment | Subcontract | Temp Matl Equip Renta | Other | Totals      |
| Base labor                         |          | \$0      | \$0      | \$0       | \$1,156,750 | \$0                   | \$0   | \$1,156,750 |
| Labor burden                       | 50.00%   | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Labor fringes                      |          | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Labor manhours                     |          | 0        |          |           |             |                       |       |             |
| Material sales tax                 | 9.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Equipment Surcharge                | 0.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Temporary material markup          | 0.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Equipment rental markup            | 0.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Other markup                       | 0.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| <b>Gross cost</b>                  |          | \$0      | \$0      | \$0       | \$1,156,750 | \$0                   | \$0   | \$1,156,750 |
| General Liability Ins.             | 0.90%    |          |          |           |             |                       |       | \$11,292    |
| Builder's risk insurance           | 0.65%    |          |          |           |             |                       |       | \$8,156     |
| <b>Overall</b>                     |          |          |          |           |             |                       |       |             |
| Overhead                           | 0.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
| Profit                             | 5.00%    | \$0      | \$0      | \$0       | \$0         | \$0                   | \$0   | \$0         |
|                                    |          | \$57,838 | \$0      | \$0       | \$0         | \$0                   | \$0   | \$57,838    |
| Subcontract bond                   | 0.00%    |          |          |           |             |                       |       | \$0         |
| Performance bond                   | \$11,151 |          |          |           |             |                       |       | \$11,151    |
| Owner's Protective                 | 0.10%    |          |          |           |             |                       |       | \$1,255     |
| New Orleans B.P.                   | 0.66%    |          |          |           |             |                       |       | \$8,281     |
| <b>Total</b>                       |          |          |          |           |             |                       |       | \$1,254,722 |
| Cut/Add                            |          |          |          |           |             |                       |       | \$0         |
| <b>Project total</b>               |          |          |          |           |             |                       |       | \$1,254,722 |



Pro-Serv estimating LLC  
 444 Red Maple Dr  
 Mandeville LA, LA 70002  
 Phone: 504888-9433  
 Fax: 504888-6997

# Estimate Detail

Estimate File: Priestley School Existing Gym.est - Priestley School existing Building, New Orleans

Estimator:  
 Primary Project Qty: 6750 SF  
 Estimate UM: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

Report DOES NOT include Taxes & Insurance or Indirect Costs. 5/4/2012

10:57:07AM

| Item Code                                 | Description                | Quantity      | UNIT COSTS |             |           | TOTAL COSTS |                  |            | Total Unit \$ | Item Total \$ |                  |
|---|----------------------------|---------------|------------|-------------|-----------|-------------|------------------|------------|---------------|---------------|------------------|
|   |                            |               | Labor \$   | Material \$ | Sub \$    | Labor \$    | Material \$      | Sub \$     |               |               |                  |
| <b>01 General requirements</b>            |                            |               |            |             |           |             |                  |            |               |               |                  |
| 1310.110                                  | General Conditions         | 4.00 MC       | 0.00       |             | 40,000.00 | \$0.00      |                  | 160,000.00 |               | 40,000.00     | 160,000          |
| 1900.100                                  | Project contingency        | 1.00 LS       | 0.00       |             | 45,000.00 | \$0.00      |                  | 45,000.00  |               | 45,000.00     | 45,000           |
| <b>Total General requirements</b>         |                            |               |            |             |           |             | <b>\$205,000</b> |            |               |               | <b>\$205,000</b> |
| <b>02 Sitework</b>                        |                            |               |            |             |           |             |                  |            |               |               |                  |
| 2000.000                                  | Demolition (Selective)     | 6,750.00 SQFT | 0.00       |             | 3.00      | \$0.00      |                  | 20,250.00  |               | 3.00          | 20,250           |
| 2200.000                                  | Site Package               | 6,750.00 SQFT | 0.00       |             | 1.00      | \$0.00      |                  | 6,750.00   |               | 1.00          | 6,750            |
| <b>Total Sitework</b>                     |                            |               |            |             |           |             | <b>\$27,000</b>  |            |               |               | <b>\$27,000</b>  |
| <b>03 Concrete</b>                        |                            |               |            |             |           |             |                  |            |               |               |                  |
| 3000.000                                  | Concrete                   | 6,750.00 SQFT | 0.00       |             | 7.00      | \$0.00      |                  | 47,250.00  |               | 7.00          | 47,250           |
| <b>Total Concrete</b>                     |                            |               |            |             |           |             | <b>\$47,250</b>  |            |               |               | <b>\$47,250</b>  |
| <b>04 Masonry</b>                         |                            |               |            |             |           |             |                  |            |               |               |                  |
| 4200.000                                  | Masonry restorations       | 6,750.00 SQFT | 0.00       |             | 6.00      | \$0.00      |                  | 40,500.00  |               | 6.00          | 40,500           |
| <b>Total Masonry</b>                      |                            |               |            |             |           |             | <b>\$40,500</b>  |            |               |               | <b>\$40,500</b>  |
| <b>05 Metals</b>                          |                            |               |            |             |           |             |                  |            |               |               |                  |
| 5000.000                                  | Structural (Misc)          | 6,750.00 SQFT | 0.00       |             | 3.00      | \$0.00      |                  | 20,250.00  |               | 3.00          | 20,250           |
| <b>Total Metals</b>                       |                            |               |            |             |           |             | <b>\$20,250</b>  |            |               |               | <b>\$20,250</b>  |
| <b>06 Wood and plastics</b>               |                            |               |            |             |           |             |                  |            |               |               |                  |
| 6200.000                                  | Rough Carpentry (wood blk) | 6,750.00 SQFT | 0.00       |             | 1.00      | \$0.00      |                  | 6,750.00   |               | 1.00          | 6,750            |
| 6400.000                                  | Finish carpentry           | 6,750.00 SQFT | 0.00       |             | 2.00      | \$0.00      |                  | 13,500.00  |               | 2.00          | 13,500           |
| <b>Total Wood and plastics</b>            |                            |               |            |             |           |             | <b>\$20,250</b>  |            |               |               | <b>\$20,250</b>  |
| <b>07 Thermal and moisture protection</b> |                            |               |            |             |           |             |                  |            |               |               |                  |
| 7120.000                                  | Waterproofing              | 6,750.00 SQFT | 0.00       |             | 3.00      | \$0.00      |                  | 20,250.00  |               | 3.00          | 20,250           |
| 7520.000                                  | Roofing (standing seam)    | 6,750.00 SQFT | 0.00       |             | 13.00     | \$0.00      |                  | 87,750.00  |               | 13.00         | 87,750           |

Estimator:  
 Primary Project Qty: 6750 SF  
 Estimate UM: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

Report DOES NOT include Taxes & Insurance or Indirect Costs.

Estimate File: Priestley School Existing Gym.est - Priestley School existing Building 5/4/2012

| Item Code                                    | Description           | Quantity      | UNIT COSTS |             |        | TOTAL COSTS |          |             | Total Unit \$ | Item Total \$ |
|--|-----------------------|---------------|------------|-------------|--------|-------------|----------|-------------|---------------|---------------|
|  |                       |               | Labor \$   | Material \$ | Sub \$ | Equip \$    | Labor \$ | Material \$ |               |               |
| <b>Total Thermal and moisture protection</b> |                       |               |            |             |        |             |          |             |               |               |
| <b>08 Doors and windows</b>                  |                       |               |            |             |        |             |          |             |               |               |
| 8000.000                                     | Doors Frames Hardware | 6,750.00 SQFT | 0.00       | 0.00        | 2.00   | \$0.00      | \$0.00   | 13,500.00   | 2.00          | 13,500        |
| 8800.000                                     | Glass & Glazing       | 6,750.00 SQFT | 0.00       | 0.00        | 3.00   | \$0.00      | \$0.00   | 20,250.00   | 3.00          | 20,250        |
| <b>Total Doors and windows \$33,750</b>      |                       |               |            |             |        |             |          |             |               |               |
| <b>09 Finishes</b>                           |                       |               |            |             |        |             |          |             |               |               |
| 9250.000                                     | Drywall Package       | 6,750.00 SQFT | 0.00       | 0.00        | 2.00   | \$0.00      | \$0.00   | 13,500.00   | 2.00          | 13,500        |
| 9600.000                                     | Flooring package      | 6,750.00 SQFT | 0.00       | 0.00        | 25.00  | \$0.00      | \$0.00   | 168,750.00  | 25.00         | 168,750       |
| 9900.000                                     | Paint package         | 6,750.00 SQFT | 0.00       | 0.00        | 5.00   | \$0.00      | \$0.00   | 33,750.00   | 5.00          | 33,750        |
| <b>Total Finishes \$216,000</b>              |                       |               |            |             |        |             |          |             |               |               |
| <b>10 Specialties</b>                        |                       |               |            |             |        |             |          |             |               |               |
| 10000.000                                    | Specialties package   | 6,750.00 SQFT | 0.00       | 0.00        | 2.50   | \$0.00      | \$0.00   | 16,875.00   | 2.50          | 16,875        |
| <b>Total Specialties \$16,875</b>            |                       |               |            |             |        |             |          |             |               |               |
| <b>11 Equipment</b>                          |                       |               |            |             |        |             |          |             |               |               |
| 11000.000                                    | Equipment Package     | 6,750.00 SQFT | 0.00       | 0.00        | 5.00   | \$0.00      | \$0.00   | 33,750.00   | 5.00          | 33,750        |
| <b>Total Equipment \$33,750</b>              |                       |               |            |             |        |             |          |             |               |               |
| <b>12 Furnishings</b>                        |                       |               |            |             |        |             |          |             |               |               |
| 12000.000                                    | Furnishing package    | 6,750.00 SQFT | 0.00       | 0.00        | 6.00   | \$0.00      | \$0.00   | 40,500.00   | 6.00          | 40,500        |
| <b>Total Furnishings \$40,500</b>            |                       |               |            |             |        |             |          |             |               |               |
| <b>13 Special construction</b>               |                       |               |            |             |        |             |          |             |               |               |
| 13000.000                                    | Special construction  | 6,750.00 SQFT | 0.00       | 0.00        | 2.00   | \$0.00      | \$0.00   | 13,500.00   | 2.00          | 13,500        |
| <b>Total Special construction \$13,500</b>   |                       |               |            |             |        |             |          |             |               |               |
| <b>15 Mechanical</b>                         |                       |               |            |             |        |             |          |             |               |               |
| 15300.000                                    | Fire Protection       | 6,750.00 SQFT | 0.00       | 0.00        | 3.50   | \$0.00      | \$0.00   | 23,625.00   | 3.50          | 23,625        |
| 15400.000                                    | Plumbing Package      | 6,750.00 SQFT | 0.00       | 0.00        | 5.00   | \$0.00      | \$0.00   | 33,750.00   | 5.00          | 33,750        |
| 15700.000                                    | Mechanical Package    | 6,750.00 SQFT | 0.00       | 0.00        | 25.00  | \$0.00      | \$0.00   | 168,750.00  | 25.00         | 168,750       |
| <b>Total Mechanical \$226,125</b>            |                       |               |            |             |        |             |          |             |               |               |
| <b>16 Electrical</b>                         |                       |               |            |             |        |             |          |             |               |               |
| 16000.000                                    | Electrical            | 6,750.00 SQFT | 0.00       | 0.00        | 16.00  | \$0.00      | \$0.00   | 108,000.00  | 16.00         | 108,000       |
| <b>Total Electrical \$108,000</b>            |                       |               |            |             |        |             |          |             |               |               |

Estimator:  
 Primary Project Qty: 6750 SF  
 Estimate UM: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

| Estimate File: Priestley School Existing Gym.est - Priestley School existing Building |             |          |            |             |        |             |             |        |               |               |
|---|-------------|----------|------------|-------------|--------|-------------|-------------|--------|---------------|---------------|
| 10:57:07AM  |             |          |            |             |        |             |             |        | 5/4/2012      |               |
| Item Code   | Description | Quantity | UNIT COSTS |             |        | TOTAL COSTS |             |        | Total Unit \$ | Item Total \$ |
|   |             |          | Labor \$   | Material \$ | Sub \$ | Labor \$    | Material \$ | Sub \$ |               |               |
| <b>ESTIMATE TOTALS</b>  |             |          |            |             |        |             |             |        |               |               |
|   |             |          | \$         | \$          | \$     | \$          | \$          | \$     | \$            | \$1,156,750   |
|   |             |          |            |             |        |             |             |        |               | \$1,156,750   |

Report DOES NOT include Taxes & Insurance or Indirect Costs.





Pro-Serv estimating LLC  
 444 Red Maple Dr  
 Mandeville LA, LA 70002  
 Phone: 504888-9433 Fax: 504888-8997

# Estimate Recap

Estimate File: Priestley School New Educational Bldg.est - Priestley School existing Building, New Orleans

Estimator:  
 Primary Project Qty:49400 SF  
 Estimate UM: Imperial

- Sort Sequences:
1. Divisions
  2. Not Used
  3. Not Used
  4. Not Used

Report includes Taxes & Insurance. Indirect costs are Spread.

7:39:59AM

5/3/2012

| Description                     | Labor \$ | Material \$ | Equipmt \$ | Sub \$              | Temp Matl \$ | Equipmt Rntl \$ | Other Costs \$ | Item Total \$       |
|---------------------------------|----------|-------------|------------|---------------------|--------------|-----------------|----------------|---------------------|
| General requirements            |          |             |            | \$389,916           |              |                 |                | \$389,916           |
| Sitework                        |          |             |            | \$347,783           |              |                 |                | \$347,783           |
| Concrete                        |          |             |            | \$909,587           |              |                 |                | \$909,587           |
| Masonry                         |          |             |            | \$749,072           |              |                 |                | \$749,072           |
| Metals                          |          |             |            | \$1,284,123         |              |                 |                | \$1,284,123         |
| Wood and plastics               |          |             |            | \$267,526           |              |                 |                | \$267,526           |
| Thermal and moisture protection |          |             |            | \$439,305           |              |                 |                | \$439,305           |
| Doors and windows               |          |             |            | \$856,082           |              |                 |                | \$856,082           |
| Finishes                        |          |             |            | \$1,658,659         |              |                 |                | \$1,658,659         |
| Specialties                     |          |             |            | \$107,010           |              |                 |                | \$107,010           |
| Equipment                       |          |             |            | \$642,061           |              |                 |                | \$642,061           |
| Furnishings                     |          |             |            | \$160,515           |              |                 |                | \$160,515           |
| Special construction            |          |             |            | \$107,010           |              |                 |                | \$107,010           |
| Conveying systems               |          |             |            | \$141,789           |              |                 |                | \$141,789           |
| Mechanical                      |          |             |            | \$2,166,957         |              |                 |                | \$2,166,957         |
| Electrical                      |          |             |            | \$1,070,102         |              |                 |                | \$1,070,102         |
| <b>ESTIMATE TOTALS</b>          |          |             |            | <b>\$11,297,497</b> |              |                 |                | <b>\$11,297,497</b> |

All Items S:\Program files\MC² Software\datafiles\mc2pj.std

| Estimate Summary                   |        | Bid dat   | 5/3/2012 |           |              |           |       |       |       |              |
|------------------------------------|--------|-----------|----------|-----------|--------------|-----------|-------|-------|-------|--------------|
| Priestley School existing Building |        | 49,400 SF |          |           |              |           |       |       |       |              |
| Pro-Serv estimating LLC            |        |           |          |           |              |           |       |       |       |              |
| 444 Red Maple Dr                   |        |           |          |           |              |           |       |       |       |              |
| Mandeville LA                      |        |           |          |           |              |           |       |       |       |              |
| LA                                 |        |           |          |           |              |           |       |       |       |              |
| Direct costs                       | %      | Labor     | Material | Equipment | Subcontract  | Temp. Mat | Equip | Renta | Other | Totals       |
| Base labor                         |        | \$0       | \$0      | \$0       | \$10,430,710 | \$0       | \$0   | \$0   | \$0   | \$10,430,710 |
| Labor burden                       | 50.00% | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Labor fringes                      |        | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Labor manhours                     |        | 0         |          |           |              |           |       |       |       |              |
| Material sales tax                 | 9.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Equipment Surcharge                | 0.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Temporary material markup          | 0.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Equipment rental markup            | 0.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Other markup                       | 0.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| <b>Gross cost</b>                  |        | \$0       | \$0      | \$0       | \$10,430,710 | \$0       | \$0   | \$0   | \$0   | \$10,430,710 |
| General Liability Ins.             | 0.90%  |           |          |           |              |           |       |       |       | \$101,677    |
| Builder's risk insurance           | 0.65%  |           |          |           |              |           |       |       |       | \$73,434     |
| <b>Overall</b>                     |        |           |          |           |              |           |       |       |       |              |
| Overhead                           | 0.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
| Profit                             | 5.00%  | \$0       | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$0          |
|                                    |        | \$521,536 | \$0      | \$0       | \$0          | \$0       | \$0   | \$0   | \$0   | \$521,536    |
| Subcontract bond                   | 0.00%  |           |          |           |              |           |       |       |       | \$0          |
| Performance bond                   |        | \$84,280  |          |           |              |           |       |       |       | \$84,280     |
| Owner's Protective                 | 0.10%  |           |          |           |              |           |       |       |       | \$11,297     |
| New Orleans B.P.                   | 0.66%  |           |          |           |              |           |       |       |       | \$74,563     |
| <b>Total</b>                       |        |           |          |           |              |           |       |       |       | \$11,297,497 |
| Cut/Add                            |        |           |          |           |              |           |       |       |       | \$0          |
| <b>Project total</b>               |        |           |          |           |              |           |       |       |       | \$11,297,497 |

Pro-Serv estimating LLC  
 444 Red Maple Dr  
 Mandeville LA, LA 70002  
 Phone: 504888-9433  
 Fax: 504888-6997

# Estimate Detail

Estimate File: Priestley School New Educational Bldg.est - Priestley School existing Building, New Orleans

Estimator:  
 Primary Project Qty: 49400 SF  
 Estimate UM: Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

Report DOES NOT include Taxes & Insurance or Indirect Costs  
 5/3/2012

7:39:32AM

| Item Code                                 | Description                       | Quantity       | UNIT COSTS |             |           | TOTAL COSTS |                    |        | Total Unit \$ | Item Total \$      |
|---|-----------------------------------|----------------|------------|-------------|-----------|-------------|--------------------|--------|---------------|--------------------|
|   |                                   |                | Labor \$   | Material \$ | Sub \$    | Labor \$    | Material \$        | Sub \$ |               |                    |
| <b>01 General requirements</b>            |                                   |                |            |             |           |             |                    |        |               |                    |
| 1310.110                                  | General Conditions                | 9.00 MO        | 0.00       | 0.00        | 40,000.00 | \$0.00      | 360,000.00         |        | 40,000.00     | 360,000.00         |
|   | <b>Total General requirements</b> |                |            |             |           |             | <b>\$360,000</b>   |        |               | <b>\$360,000</b>   |
| <b>02 Sitework</b>                        |                                   |                |            |             |           |             |                    |        |               |                    |
| 2000.000                                  | Demolition (Selective)            | 49,400.00 SQFT | 0.00       | 0.00        | 0.50      | \$0.00      | 24,700.00          |        | 0.50          | 24,700.00          |
| 2200.000                                  | Site Package                      | 49,400.00 SQFT | 0.00       | 0.00        | 6.00      | \$0.00      | 296,400.00         |        | 6.00          | 296,400.00         |
|   | <b>Total Sitework</b>             |                |            |             |           |             | <b>\$321,100</b>   |        |               | <b>\$321,100</b>   |
| <b>03 Concrete</b>                        |                                   |                |            |             |           |             |                    |        |               |                    |
| 3000.000                                  | Concrete                          | 49,400.00 SQFT | 0.00       | 0.00        | 17.00     | \$0.00      | 839,800.00         |        | 17.00         | 839,800.00         |
|   | <b>Total Concrete</b>             |                |            |             |           |             | <b>\$839,800</b>   |        |               | <b>\$839,800</b>   |
| <b>04 Masonry</b>                         |                                   |                |            |             |           |             |                    |        |               |                    |
| 4200.000                                  | Masonry                           | 49,400.00 SQFT | 0.00       | 0.00        | 14.00     | \$0.00      | 691,600.00         |        | 14.00         | 691,600.00         |
|   | <b>Total Masonry</b>              |                |            |             |           |             | <b>\$691,600</b>   |        |               | <b>\$691,600</b>   |
| <b>05 Metals</b>                          |                                   |                |            |             |           |             |                    |        |               |                    |
| 5000.000                                  | Structural (Misc)                 | 49,400.00 SQFT | 0.00       | 0.00        | 24.00     | \$0.00      | 1,185,600.00       |        | 24.00         | 1,185,600.00       |
|   | <b>Total Metals</b>               |                |            |             |           |             | <b>\$1,185,600</b> |        |               | <b>\$1,185,600</b> |
| <b>06 Wood and plastics</b>               |                                   |                |            |             |           |             |                    |        |               |                    |
| 6200.000                                  | Rough Carpentry (wood frame)      | 49,400.00 SQFT | 0.00       | 0.00        | 1.00      | \$0.00      | 49,400.00          |        | 1.00          | 49,400.00          |
| 6400.000                                  | Finish carpentry                  | 49,400.00 SQFT | 0.00       | 0.00        | 4.00      | \$0.00      | 197,600.00         |        | 4.00          | 197,600.00         |
|   | <b>Total Wood and plastics</b>    |                |            |             |           |             | <b>\$247,000</b>   |        |               | <b>\$247,000</b>   |
| <b>07 Thermal and moisture protection</b> |                                   |                |            |             |           |             |                    |        |               |                    |
| 7120.000                                  | Waterproofing                     | 49,400.00 SQFT | 0.00       | 0.00        | 2.00      | \$0.00      | 98,800.00          |        | 2.00          | 98,800.00          |
| 7210.000                                  | Insulating package                | 49,400.00 SQFT | 0.00       | 0.00        | 2.00      | \$0.00      | 98,800.00          |        | 2.00          | 98,800.00          |
| 7520.000                                  | Roofing (modified bit)            | 16,000.00 SQFT | 0.00       | 0.00        | 13.00     | \$0.00      | 208,000.00         |        | 13.00         | 208,000.00         |

Estimator:  
 Primary Project Qty. 49400 SF  
 Estimate UM:Imperial

Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

| Estimate File: Priestley School New Educational Bldg.est - Priestley School existing Building |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
|---|-----------------------|----------------|------------|-------------|--------|----------|-------------|-------------|--------|----------|--------------------|---------------|--------------------|
| Report DOES NOT include Taxes & Insurance or Indirect Costs.                                  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 5/3/2012  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| Item Code   | Description           | Quantity       | UNIT COSTS |             |        |          | TOTAL COSTS |             |        |          | Total Unit \$      | Item Total \$ |                    |
|   |                       |                | Labor \$   | Material \$ | Sub \$ | Equip \$ | Labor \$    | Material \$ | Sub \$ | Equip \$ |                    |               |                    |
| <b>Total Thermal and moisture protection</b>  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| <b>08 Doors and windows</b>   |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 8000.000  | Doors Frames Hardware | 49,400.00 SQFT | 0.00       | 0.00        | 4.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 197,600.00         | 4.00          | 197,600            |
| 8800.000  | Glass & Glazing       | 49,400.00 SQFT | 0.00       | 0.00        | 12.00  | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 592,800.00         | 12.00         | 592,800            |
| <b>Total Doors and windows</b>  |                       |                |            |             |        |          |             |             |        |          | <b>\$790,400</b>   |               | <b>\$790,400</b>   |
| <b>09 Finishes</b>  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 9250.000  | Drywall Package       | 49,400.00 SQFT | 0.00       | 0.00        | 12.00  | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 592,800.00         | 12.00         | 592,800            |
| 9300.000  | Tile package          | 49,400.00 SQFT | 0.00       | 0.00        | 3.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 148,200.00         | 3.00          | 148,200            |
| 9510.000  | Acoustics             | 49,400.00 SQFT | 0.00       | 0.00        | 4.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 197,600.00         | 4.00          | 197,600            |
| 9600.000  | Flooring package      | 49,400.00 SQFT | 0.00       | 0.00        | 7.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 345,800.00         | 7.00          | 345,800            |
| 9900.000  | Paint package         | 49,400.00 SQFT | 0.00       | 0.00        | 5.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 247,000.00         | 5.00          | 247,000            |
| <b>Total Finishes</b>   |                       |                |            |             |        |          |             |             |        |          | <b>\$1,531,400</b> |               | <b>\$1,531,400</b> |
| <b>10 Specialties</b>   |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 10000.000   | Specialties package   | 49,400.00 SQFT | 0.00       | 0.00        | 2.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 98,800.00          | 2.00          | 98,800             |
| <b>Total Specialties</b>  |                       |                |            |             |        |          |             |             |        |          | <b>\$98,800</b>    |               | <b>\$98,800</b>    |
| <b>11 Equipment</b>   |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 11000.000   | Equipment Package     | 49,400.00 SQFT | 0.00       | 0.00        | 12.00  | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 592,800.00         | 12.00         | 592,800            |
| <b>Total Equipment</b>  |                       |                |            |             |        |          |             |             |        |          | <b>\$592,800</b>   |               | <b>\$592,800</b>   |
| <b>12 Furnishings</b>   |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 12000.000   | Furnishing package    | 49,400.00 SQFT | 0.00       | 0.00        | 3.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 148,200.00         | 3.00          | 148,200            |
| <b>Total Furnishings</b>  |                       |                |            |             |        |          |             |             |        |          | <b>\$148,200</b>   |               | <b>\$148,200</b>   |
| <b>13 Special construction</b>  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 13000.000   | Special construction  | 49,400.00 SQFT | 0.00       | 0.00        | 2.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 98,800.00          | 2.00          | 98,800             |
| <b>Total Special construction</b>   |                       |                |            |             |        |          |             |             |        |          | <b>\$98,800</b>    |               | <b>\$98,800</b>    |
| <b>14 Conveying systems</b>   |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 14200.000   | Elevator Package      | 49,400.00 SQFT | 0.00       | 0.00        | 2.65   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 130,910.00         | 2.65          | 130,910            |
| <b>Total Conveying systems</b>  |                       |                |            |             |        |          |             |             |        |          | <b>\$130,910</b>   |               | <b>\$130,910</b>   |
| <b>15 Mechanical</b>  |                       |                |            |             |        |          |             |             |        |          |                    |               |                    |
| 15300.000   | Fire Protection       | 49,400.00 SQFT | 0.00       | 0.00        | 3.50   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 172,900.00         | 3.50          | 172,900            |
| 15400.000   | Plumbing Package      | 49,400.00 SQFT | 0.00       | 0.00        | 7.00   | 0.00     | 0.00        | 0.00        | 0.00   | 0.00     | 345,800.00         | 7.00          | 345,800            |



Estimator:  
 Primary Project Qty: 49,400 SF  
 Estimate UM: Imperial

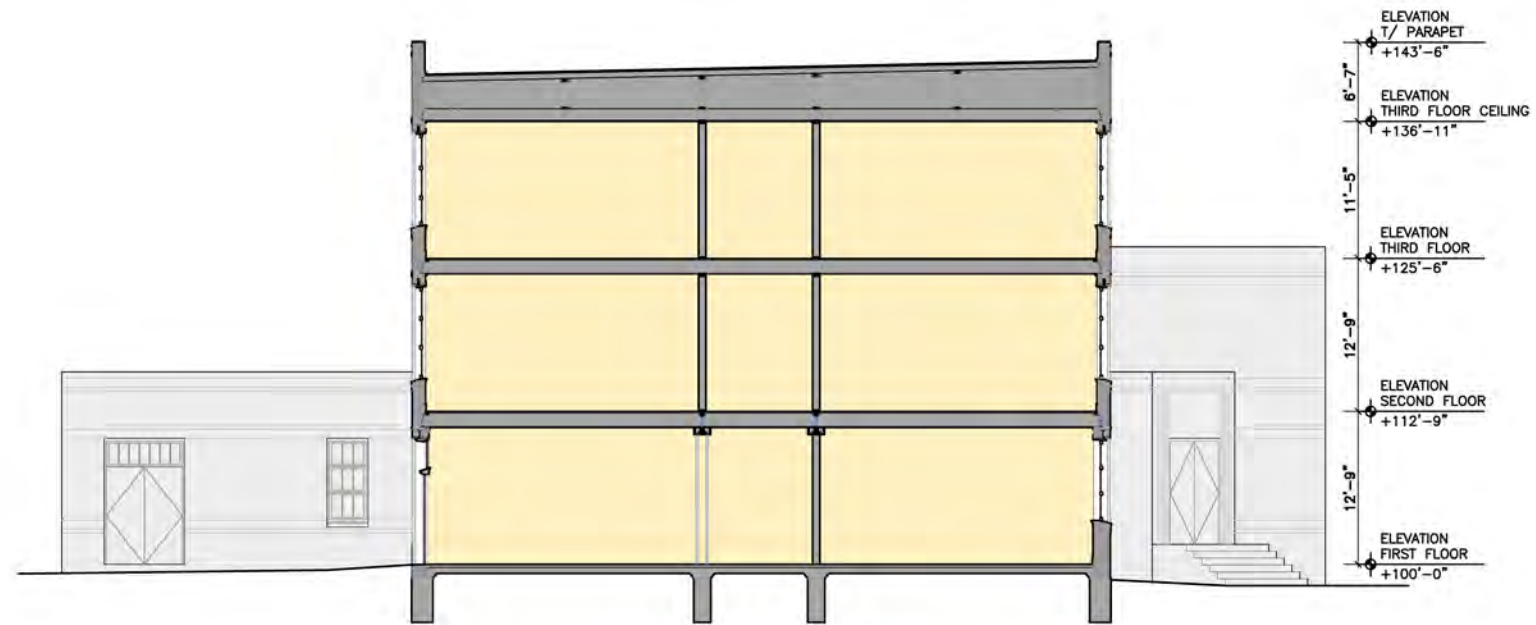
Sort Sequences: 1. Divisions  
 2. Not Used  
 3. Not Used  
 4. Not Used

| Estimate File: Priestley School New Educational Bldg est - Priestley School existing Building |                         |                |            |             |        |             |             |                     |               |                     |
|---|-------------------------|----------------|------------|-------------|--------|-------------|-------------|---------------------|---------------|---------------------|
| Report DOES NOT include Taxes & Insurance or Indirect Costs.                                  |                         |                |            |             |        |             |             |                     |               |                     |
| 5/3/2012  |                         |                |            |             |        |             |             |                     |               |                     |
| Item Code   | Description             | Quantity       | UNIT COSTS |             |        | TOTAL COSTS |             |                     | Total Unit \$ | Item Total \$       |
|   |                         |                | Labor \$   | Material \$ | Sub \$ | Labor \$    | Material \$ | Sub \$              |               |                     |
| 15700.000   | Mechanical Package      | 49,400.00 SQFT | 0.00       |             | 30.00  | \$0.00      |             | 1,482,000.00        | 30.00         | 1,482,000           |
|   | <b>Total Mechanical</b> |                |            |             |        |             |             | <b>\$2,000,700</b>  |               | <b>\$2,000,700</b>  |
| 16000.000   | Electrical              | 49,400.00 SQFT | 0.00       |             | 20.00  | \$0.00      |             | 988,000.00          | 20.00         | 988,000             |
|   | <b>Total Electrical</b> |                |            |             |        |             |             | <b>\$988,000</b>    |               | <b>\$988,000</b>    |
| <b>ESTIMATE TOTALS</b>  |                         |                |            |             |        |             |             | <b>\$10,430,710</b> |               | <b>\$10,430,710</b> |

**Building Sections**  
Scale: 1/16" = 1'-0"

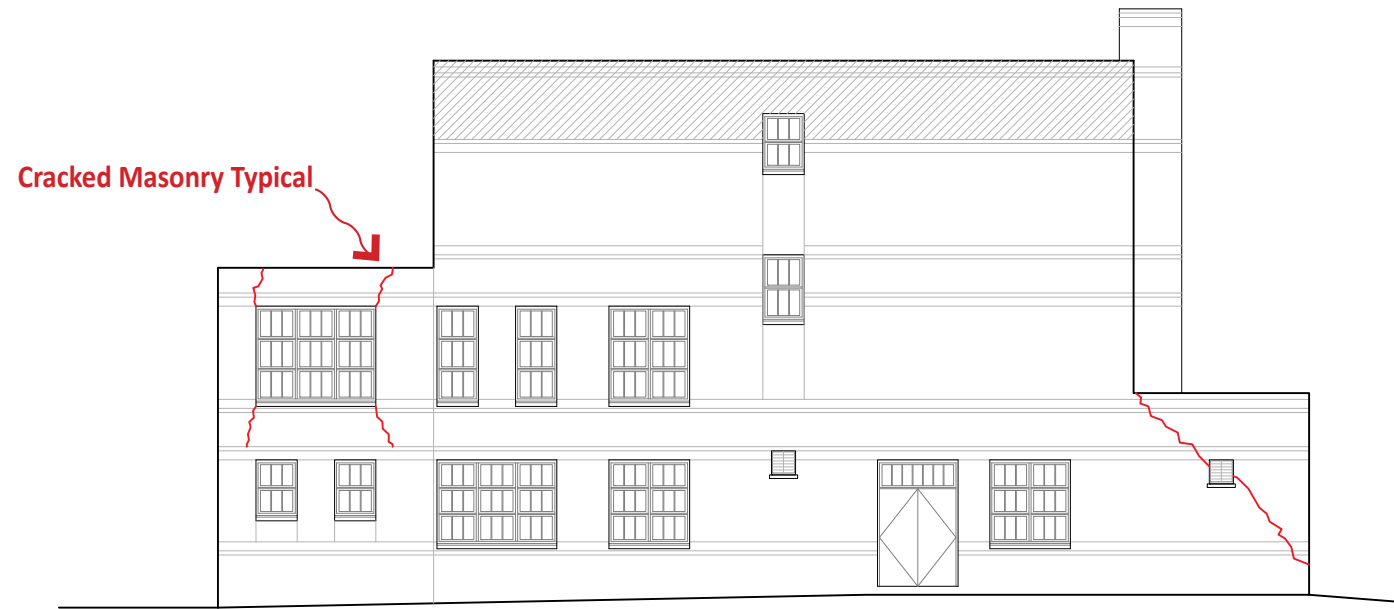


**Longitudinal Section**  
Scale: 1/16" = 1'-0"



**Transverse Section**  
Scale: 1/16" = 1'-0"

Building Elevations  
Scale: 1/16" = 1'-0"



Southwest Elevation  
Scale: 1/16" = 1'-0"

Cracked Masonry Typical



Northwest Elevation  
Scale: 1/16" = 1'-0"

Building Elevations  
Scale: 1/16" = 1'-0"



Northeast Elevation  
Scale: 1/16" = 1'-0"

Cracked Masonry Typical



Southeast Elevation  
Scale: 1/16" = 1'-0"